

Notice of Planning Committee

Date: Thursday, 17 December 2020 at 1.00 pm

Venue: Microsoft Teams Meeting



Membership:

Chairman:

Cllr D Kelsey

Vice Chairman:

Cllr S McCormack

Cllr S Baron

Cllr S Bartlett

Cllr D Borthwick

Cllr S Bull

Cllr M Davies

Cllr N Decent

Cllr B Dion

Cllr P R A Hall

Cllr P Hilliard

Cllr T Johnson

Cllr M Le Poidevin

Cllr T O'Neill

Cllr A M Sibley

All Members of the Planning Committee are summoned to attend this meeting to consider the items of business set out on the agenda below.

The press and public are welcome to view the live stream of this meeting at the following link:

<https://democracy.bcpCouncil.gov.uk/ieListDocuments.aspx?MId=4402>

If you would like any further information on the items to be considered at the meeting please contact: Democratic Services or email democratic.services@bcpCouncil.gov.uk

Press enquiries should be directed to the Press Office: Tel: 01202 454668 or email press.office@bcpCouncil.gov.uk

This notice and all the papers mentioned within it are available at democracy.bcpCouncil.gov.uk

GRAHAM FARRANT
CHIEF EXECUTIVE

9 December 2020



Available online and
on the Mod.gov app

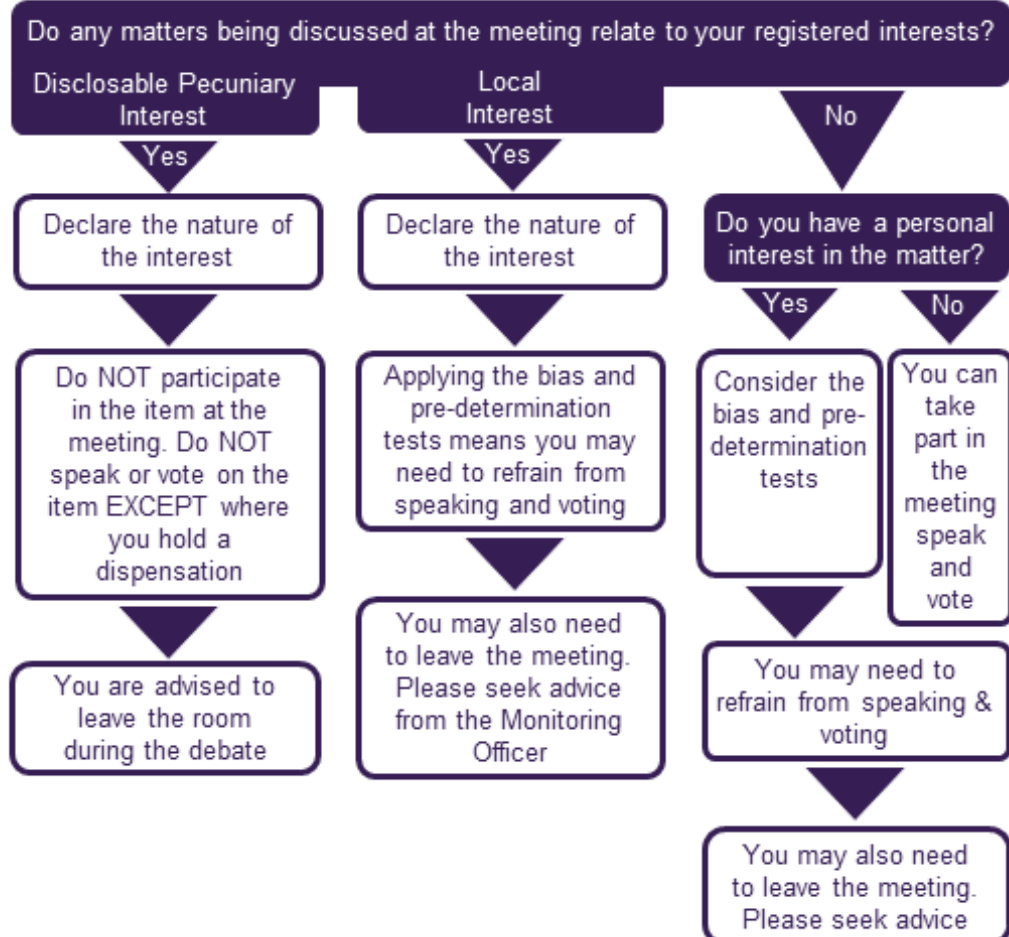


Maintaining and promoting high standards of conduct

Declaring interests at meetings

Familiarise yourself with the Councillor Code of Conduct which can be found in Part 6 of the Council's Constitution.

Before the meeting, read the agenda and reports to see if the matters to be discussed at the meeting concern your interests



What are the principles of bias and pre-determination and how do they affect my participation in the meeting?

Bias and predetermination are common law concepts. If they affect you, your participation in the meeting may call into question the decision arrived at on the item.

Bias Test

In all the circumstances, would it lead a fair minded and informed observer to conclude that there was a real possibility or a real danger that the decision maker was biased?

Predetermination Test

At the time of making the decision, did the decision maker have a closed mind?

If a councillor appears to be biased or to have predetermined their decision, they must NOT participate in the meeting.

For more information or advice please contact the Monitoring Officer
(susan.zeiss@bcpcouncil.gov.uk)

Selflessness

Councillors should act solely in terms of the public interest

Integrity

Councillors must avoid placing themselves under any obligation to people or organisations that might try inappropriately to influence them in their work. They should not act or take decisions in order to gain financial or other material benefits for themselves, their family, or their friends. They must declare and resolve any interests and relationships

Objectivity

Councillors must act and take decisions impartially, fairly and on merit, using the best evidence and without discrimination or bias

Accountability

Councillors are accountable to the public for their decisions and actions and must submit themselves to the scrutiny necessary to ensure this

Openness

Councillors should act and take decisions in an open and transparent manner. Information should not be withheld from the public unless there are clear and lawful reasons for so doing

Honesty & Integrity

Councillors should act with honesty and integrity and should not place themselves in situations where their honesty and integrity may be questioned

Leadership

Councillors should exhibit these principles in their own behaviour. They should actively promote and robustly support the principles and be willing to challenge poor behaviour wherever it occurs

AGENDA

Items to be considered while the meeting is open to the public

1. **Apologies**

To receive any apologies for absence from Members.

2. **Substitute Members**

To receive information on any changes in the membership of the Committee.

Note – When a member of a Committee is unable to attend a meeting of a Committee or Sub-Committee, the relevant Political Group Leader (or their nominated representative) may, by notice to the Monitoring Officer (or their nominated representative) prior to the meeting, appoint a substitute member from within the same Political Group. The contact details on the front of this agenda should be used for notifications.

3. **Declarations of Interests**

Councillors are requested to declare any interests on items included in this agenda. Please refer to the workflow on the preceding page for guidance.

Declarations received will be reported at the meeting.

4. **Confirmation of Minutes**

To confirm and sign as a correct record the minutes of the Meeting held on 26 November 2020.

7 - 14

5. **Public Issues**

To receive any requests to speak on planning applications which the Planning Committee is considering at this meeting.

15 - 18

The deadline for the submission of requests to speak is 12 noon on Wednesday, 16 December 2020. Requests should be submitted to Democratic Services using the contact details on the front of this agenda.

Further information about how public speaking is managed at virtual meetings is contained in the Protocol for Public Speaking at Planning Committee which is included with this agenda sheet and is available on the Council's website at the following address:

<https://democracy.bcpccouncil.gov.uk/documents/s18186/Protocol%20for%20Public%20Statements%20at%20Planning%20Committee.pdf>

Note: The public speaking procedure is separate from and is not intended to replicate or replace the procedure for submitting a written representation on a planning application to the Planning Offices during the consultation period.

6. Schedule of Planning Applications

To consider the planning applications as listed below.

See planning application reports circulated at 6a – 6g as updated by the agenda addendum sheet to be published on Wednesday, 16 December 2020.

Councillors are requested where possible to submit any technical questions on planning applications to the Case Officer at least 48 hours before the meeting to ensure this information can be provided at the meeting.

The running order in which planning applications will be considered will be as listed on this agenda sheet.

The Chairman retains discretion to propose an amendment to the running order at the meeting if it is considered expedient to do so.

Members will appreciate that the copy drawings attached to planning application reports are reduced from the applicants' original and detail, in some cases, may be difficult to read. The submitted drawings can be viewed by using the relevant planning register for this meeting, online at:

<https://planning.christchurchandeastdorset.gov.uk/search.aspx?auth=1&AspxAutoDetectCookieSupport=1>

<https://www.bournemouth.gov.uk/planningbuilding/CurrentPlanningApplications/PlanningApplicationRegister.aspx>

<https://www.poole.gov.uk/planning-and-building-control/planning/planning-applications/find-a-planning-application/>

Councillors are advised that if they wish to refer to specific drawings or plans which are not included in these papers, they should contact the Case Officer at least 48 hours before the meeting to ensure that these can be made available.

Development Plans for the BCP Council area are available to view online at:

<https://www.bournemouth.gov.uk/planningbuilding/PlanningPolicy/Local-Plan-Documents/Local-Plan-Documents.aspx>

<https://www.poole.gov.uk/planning-and-building-control/planning-policy-and-guidance/>

<https://www.christchurch.gov.uk/planning-buildings-land/planning-policy/christchurch/christchurch-borough-council-local-plan.aspx>

| | |
|--|------------------|
| <p>a) Wessex Fields, Castle Lane East, Bournemouth, BH7 7DT Littledown and Iford</p> <p>7-2019-9177-DP</p> <p>Erection of a four/ five storey business and household storage building, together with associated access, car parking and landscaping.</p> | <p>19 - 66</p> |
| <p>b) 51-55 Commercial Road, Poole, BH14 0JB Parkstone</p> <p>APP/20/01047/F</p> <p>Demolition of the existing buildings and erection of a 3 storey building containing 14 flats with associated access, car parking, refuse and cycle storage.</p> | <p>67 - 94</p> |
| <p>c) Walpole Road Open Space (Churchill Gardens), Walpole Road, Bournemouth, BH1 4ES Boscombe West</p> <p>7-2020-7347-G</p> <p>Demolition of existing park building and erection of Community/ Cafe building with associated landscape works.</p> | <p>95 - 128</p> |
| <p>d) 20 Chewton Farm Road, Christchurch Highcliffe and Walkford</p> <p>8/20/0752/OUT</p> <p>Demolition of existing dwelling and erection of 14 apartments with underground parking.</p> | <p>129 - 156</p> |
| <p>e) 7-9 Starre Inn, Purewell, Christchurch Christchurch Town</p> <p>8/20/0440/OUT</p> <p>Development of 3 x 1 bed, 2 x 2 bed and 2 x 3 bed properties (4 x houses and 3 x apartments) together with associated parking and access.</p> | <p>157 - 184</p> |
| <p>f) 2A Martello Park, Poole, BH13 7BA Canford Cliffs</p> <p>APP/20/01013/F</p> <p>Construction of a 2 bedroom flat to comprise the fifth floor of an apartment building previously approved by Planning permission APP/14/00597/F</p> | <p>185 - 204</p> |

granted for a 4 storey block of apartments as amended by S.73
APP/16/01136/F on land at 2A Martello Park, Poole.

g) **43 Wickfield Avenue, Christchurch, BH23 1JA**

Christchurch Town

8/20/0352/HOU

Erect single and two storey rear and side extensions to provide further
habitable extensions. Raise roof line to incorporate second floor
accommodation and installation of rear dormer.

205 - 218

BOURNEMOUTH, CHRISTCHURCH AND POOLE COUNCIL
PLANNING COMMITTEE

Minutes of the Meeting held on 26 November 2020 at 10.30 am

Present:-

Cllr D Kelsey – Chairman
Cllr S McCormack – Vice-Chairman

Present: Cllr S Baron, Cllr S Bartlett, Cllr D Borthwick, Cllr S Bull,
Cllr M Davies, Cllr N Decent, Cllr B Dion, Cllr P R A Hall,
Cllr P Hilliard, Cllr T Johnson, Cllr M Le Poidevin, Cllr T O'Neill and
Cllr A M Stribley

67. Apologies

Cllrs N Decent, B Dion and A Stribley gave apologies for the am session.

Cllr S Baron advised that he would join the pm session later than the 1pm published start time.

68. Substitute Members

There were no substitute members.

69. Declarations of Interests

In the interests of transparency, the Senior Solicitor read out an advice note that had been circulated to all Committee Members in relation to Items 6a and 6b on the agenda.

Cllr P R A Hall declared a personal interest in items 6a and 6b as he was both the Chairman and a Trustee of Christchurch Commoner's Association.

70. Confirmation of Minutes

The minutes of the meeting held on 5 November 2020 were approved for signing as a correct record.

71. Public Issues

There were several public statements received relating to the applications considered by the Planning Committee. As per the Protocol for Public Speaking, the Democratic Officer read out the written statements before the Chairman invited those Ward Councillors who had requested to speak, to address the Committee.

72. Schedule of Planning Applications

The Committee considered planning application reports, copies of which had been circulated and which appear as Appendices A-G to these minutes in the Minute Book. The update sheet in relation to the applications is included as Appendix H to these minutes. The Committee considered the planning applications as set out in Minutes 73-79.

73. Christchurch Police Station, Barrack Road, Christchurch, Dorset, BH23 1PN

(Christchurch Town)

8/18/3263/FUL

Erection of 130 residential dwellings, 39 units of age-restricted sheltered accommodation (C3), and 612 m2 of flexible commercial/community space (A1, A2, A3, A4, B1, D1 (Museum only) use classes), new road between Bargates and Barrack Road, new vehicular access from Barrack Road (to serve sheltered accommodation only), new private and semi-private gardens, public open space, hard and soft landscaping, surface vehicular parking and residential garages, following the demolition of the Police Station and Magistrates' Court, nos. 23 and 41 Barrack Road, former Goose and Timber public house, and ancillary buildings and structures.

- ❖ IN OBJECTION
Dr Sam Fowles
John Pendrill
Avril Coulton
Susan Suliman
Joyce Monteith
Mr & Mrs St Claire Smith
- ❖ IN SUPPORT
Robin Henderson
Sandra Clarke
- ❖ WARD COUNCILLORS
Cllr Mike Cox

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report as amended by the addendum sheet.

Voting:

For – 9 Against – 1 Abstentions – 1

Cllr P R A Hall requested that his vote against the application be recorded.

Cllr S McCormack requested that his abstention from the vote be recorded on the grounds that he felt that the Committee had been misled in relation to parking figures.

Cllr D Borthwick had missed some of the debate on this item due to technical difficulties and therefore did not take part in the vote.

74. Christchurch Police Station, Barrack Road, Christchurch, Dorset, BH23 1PN

(Christchurch Town)

8/18/3264/DCONS

Erection of 131 residential dwellings, 39 units of age-restricted sheltered accommodation (C3), and 612 m2 of flexible commercial/community space (A1, A2, A3, A4, B1, D1 (Museum only) use classes), new road between Bargates and Barrack Road, new vehicular access from Barrack Road (to serve sheltered accommodation only), new private and semi-private gardens, public open space, hard and soft landscaping, surface vehicular parking and residential garages, following the demolition of the Police Station and Magistrates' Court, nos. 23 and 41 Barrack Road, former Goose and Timber public house, and ancillary buildings and structures.

- ❖ IN OBJECTION
Dr Sam Fowles
John Pendrill
Avril Coulton
Susan Suliman
Joyce Monteith
Mr & Mrs St Claire Smith
- ❖ IN SUPPORT
Robin Henderson
Sandra Clarke
- ❖ WARD COUNCILLORS
Cllr Mike Cox

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report.

Voting:

For – Unanimous

75. Carisbrooke, 172 Canford Cliffs Road, Poole, BH13 7ES

(Canford Cliffs)

APP/19/01569/F

Demolition of existing buildings and erection of assisted living/extra care accommodation (class C2) with communal facilities and car parking.

- ❖ IN OBJECTION
Mina Beckett
Tom Whild
- ❖ IN SUPPORT
Gian Bendinelli
Beryl Beecham
- ❖ WARD COUNCILLORS
Cllr Mohan Iyengar

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report as amended by the addendum sheet.

Voting:

For – 13 Against – 1

76. Joseph Steps Building, West Undercliff Promenade, Bournemouth

(Westbourne and West Cliff)

7-2020-5162

Alterations and extensions to building to provide lifeguard facilities to include boat storage, training/ meeting rooms, viewing balcony, installation of photo voltaic panels, erection of pole mounted turbines and a flagpole

- ❖ IN OBJECTION
None Registered
- ❖ IN SUPPORT
John Humphreys
Peter Lawrence
- ❖ WARD COUNCILLORS
None Registered

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report as amended by the addendum sheet.

Voting:

For – Unanimous

77. 7 Chaddesley Glen, Poole, BH13 7PA

(Canford Cliffs)

APP/20/00677/F

Demolish existing building and erect block of 8 flats with basement parking

- ❖ IN OBJECTION
David Carr
Duncan Ross
- ❖ IN SUPPORT
Ziyad Thomas
Mark Adams
- ❖ WARD COUNCILLORS
Cllr Mohan Iyengar

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report as amended by the addendum sheet, subject to an additional condition that required electric vehicle charging points to be provided on-site, the details of which would be agreed with the Local Planning Authority.

Voting:

For – 12 Against – 1

Cllr P R A Hall did not vote due to technical difficulties.

Cllr S Baron joined the meeting throughout the debate on this item and therefore did not participate nor vote.

Cllr S Bull left the Meeting after the vote on this item and did not rejoin.

78. 80 Fernside Road, Poole, BH15 2JL

(Oakdale)

APP/19/00765/P

Demolish existing and erect a block of 9 no 1 bedroom flats with parking, bin and cycle storage.

- ❖ IN OBJECTION
Joanna Jack
Sebrina Drew
- ❖ IN SUPPORT
Matt Annen
Mark Adams
- ❖ WARD COUNCILLORS
Cllr Felicity Rice
Cllr Pete Miles

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report as amended by the addendum sheet.

Voting:

For – 10 Against – 4

Cllr D Borthwick left the meeting after the vote on this item and did not rejoin.

79. 53 Southcliffe Road, Christchurch, BH23 4EW

(Mudford, Stanpit & West Highcliffe)

8/20/0682/CONDR

Demolish existing buildings and erect block of 10 apartments with basement parking.

Variation of condition 2 (Approved Plans) of App. 8/16/1842/FUL for additional details/minor amendments. Reconfiguration of basement entrance element of building at both basement and ground floor level. Changes to ground floor plan of the building in vicinity of the ramp. Single storey projection on north east elevation between two approved masonry buttresses and beneath approved balcony. Insertion of further buttress features on ground floor

Changes to window details including - Insertion of obscure glazed windows in western elevation, two new windows in north elevation, two roof lights in south elevation and flat roof skylights. Reduction of hardstanding in front entrance forecourt area. Small patio areas to some of the ground floor units

- ❖ IN OBJECTION
Pam Bradley (on behalf of several residents at 6 neighbouring address)
- ❖ IN SUPPORT
Ken Parke
- ❖ WARD COUNCILLORS
Cllr Lesley Dedman

RESOLVED that the application be granted planning permission, in line with the recommendations as set out in the report, subject to additional condition relating to obscured glazing as set out by the Planning Officer during his presentation.

Voting:

For – 9 Against – 4

The meeting adjourned at 12.25pm and reconvened at 1pm.
The meeting adjourned at 3.58pm and reconvened at 4.03pm
The meeting ended at 4.43 pm

CHAIRMAN

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PLANNING COMMITTEE

PROTOCOL FOR PUBLIC STATEMENTS AT MEETINGS

(ARTICLE 16: COVID-19 INTERIM DECISION MAKING ARRANGEMENTS)

This protocol makes provision for public statements to be taken into account in the decision making process at virtual meetings of the Planning Committee. It enables objectors and applicants/supporters to submit a written statement on planning applications for consideration at the meeting where they would normally submit a request to attend and speak at a physical meeting. These statements will be read out at the meeting on their behalf.

This protocol is separate from and is not intended to replicate or replace the procedure of submitting a written representation on a planning application to the Planning Offices during the consultation period.

1. Objectors and applicants/supporters, including Parish or Town Council representatives, who wish to provide a written statement to be read out on their behalf at the Planning Committee must submit this to Democratic Services by 12noon on the day before the meeting.
2. There will be a maximum of two statements from objectors and a maximum of two statements from applicants/supporters on each planning application considered by the Committee. Each statement may consist of up to 450 words.
3. Statements will be accepted on a first come, first served basis. Statements will not be accepted once the limit has been reached. Objectors, and applicants/supporters with similar views are encouraged to co-ordinate in advance in the production of statements.
4. Statements will be read aloud by the Democratic Services Officer once the Presenting Officer has completed their presentation on each planning application.
5. Ward Councillors who have referred an application to the Planning Committee for decision will be expected to attend and speak at the meeting wherever possible, to explain their reasons for the call in. Other Ward Councillors may also wish to attend and speak at the meeting.
6. Any Ward Councillor attending and speaking at the meeting must also submit a written version of what they intend to say to Democratic Services by 12noon on the day before the meeting. In the event of a Ward Councillor not being able to access the meeting at the appropriate time for any reason, this statement will be read out on their behalf to ensure their views can be taken into account. Statements may consist of up to 900 words.
7. Any member of the Planning Committee who has referred an application to the Committee for decision and who has a predetermined view on that application may speak as a Ward Councillor in accordance with the provisions in this protocol, but will not be able to participate in the discussion or vote as a member of the Committee.
8. Written statements should refer to planning related issues as these are the only matters the Committee can consider when making decisions on planning applications.

Statements must direct points to reinforcing or amplifying the planning representations already made to the Council in writing. Guidance on what constitutes planning considerations is included at the end of this document. Statements must not include derogatory or defamatory comments.

9. Anyone submitting a written statement who wishes to provide still photographs or illustrations (a maximum of five) to be displayed on screen while their statement is being read aloud must submit these to Democratic Services by 12noon TWO DAYS before the meeting.
10. Presentations other than those by the Presenting Officer(s) will not be facilitated at the meeting.
11. Any updates on planning applications to be considered by the Committee will be published by Democratic Services as soon as possible after 12noon on the day before the meeting.
12. In considering each application the Committee will normally consider contributions from people in the following order:
 - Presenting Officer(s)
 - Objectors
 - Applicant/Supporters
 - Ward Councillors (for the avoidance of doubt and for the purposes of this protocol, the term 'ward councillor' means a councillor who is not a member of the planning committee)
 - Questions and discussion by Members of the Planning Committee, which may include points of clarification from Officers, leading to a decision.
13. Exceptionally, in cases of significant major planning applications the Chairman of the Planning Committee may exercise discretion in respect of provisions within this protocol. Arrangements will be agreed in advance in consultation with Planning Services and Democratic Services.
14. Please note that virtual meetings of the Planning Committee are recorded for live and subsequent broadcast by the Council, and will be published on the Council's website for a minimum of six months after the meeting date. Agenda, reports and broadcasts can be accessed using the following link:
<https://democracy.bcpccouncil.gov.uk/ieListMeetings.aspx?CId=290&Year=0>

For further information about public statements at Planning Committee please contact democratic.services@bcpcouncil.gov.uk

This Protocol has been adopted in accordance with the provisions of Article 16 of the Council's Constitution - Covid-19 Interim Decision Making Arrangements.
A copy of the Council's Constitution can be accessed using the following link:
<https://democracy.bcpccouncil.gov.uk/ieListDocuments.aspx?CId=151&MId=4091&Ver=4&Info=1>

The National Planning Portal provides the following guidance on material planning considerations:

'A material consideration is a matter that should be taken into account in deciding a planning application or on an appeal against a planning decision. Material considerations can include (but are not limited to):

- Overlooking/loss of privacy
- Loss of light or overshadowing
- Parking
- Highway safety
- Traffic
- Noise
- Effect on listed building and conservation area
- Layout and density of building
- Design, appearance and materials
- Government policy
- Disabled persons' access
- Proposals in the Development Plan
- Previous planning decisions (including appeal decisions)
- Nature conservation

However, issues such as loss of view, or negative effect on the value of properties are not material considerations.'

https://www.planningportal.co.uk/faqs/fag/4/what_are_material_considerations

Adopted by the Planning Committee on 21 May 2020

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Committee Report

| | |
|---|--|
| Application Address | Wessex Fields, Castle Lane East, Bournemouth, BH7 7DT |
| Proposal | Erection of a four/ five storey business and household storage building, together with associated access, car parking and landscaping |
| Application Number | 7-2019-9177-DP |
| Applicant | Lok'n'Store Limited |
| Agent | Bell Cornwell LLP |
| Date Application Valid | 31 July 2019 |
| Decision Due Date | 29 October 2019 |
| Extension of Time date (if applicable) | TBA |
| Ward | Littledown and Iford |
| Report Status | Public |
| Meeting Date | Thursday 17 December 2020 |
| Recommendation | GRANT |
| Reason for Referral to Planning Committee | <p>Cllr Lawrence Williams:</p> <p>Planning application fails to address refusal reasons associated with previous planning application.</p> |
| Case Officer | Peter Burridge |

Description of Development

- 1 Planning permission is sought for the 'Erection of a four/ five storey business and household storage building, together with associated access, car parking and landscaping'.
- 2 The applicant has provided the following information:

| | Existing | Proposed |
|------------------|----------|------------|
| Site Area | 0.69ha | 0.69ha |
| Use | Vacant | B8 storage |
| Height (approx.) | n/a | 16.95m |
| Depth (approx.) | n/a | 54m |
| Width (approx.) | n/a | 48m |

Key Issues

- 3 The main considerations involved with this application are:
 - Principle of development;
 - Impact on character and appearance of the area;
 - Residential amenity;
 - Highway safety;
 - Ecology;
 - Waste and recycling;
 - Drainage;
 - Contamination.
- 4 These points will be discussed as well as other material considerations in the report below.

Planning Policies

5 Core Strategy (2012)

CS1: NPPF- Presumption in Favour of Sustainable Development
CS2: Sustainable Homes and Premises
CS4: Surface Water Flooding
CS6: Delivering Sustainable Communities
CS15: Green Travel Plan and Transport Assessments
CS16: Parking Standards
CS18: Increasing Opportunities for Cycling and Walking
CS26: Protecting Allocated Employment Sites
CS30: Promoting Green Infrastructure
CS35: Nature and Geological Conservation Interests
CS38: Minimising Pollution
CS41: Quality Design

6 District Wide Local Plan (2002)

3.20 Contaminated land
4.25: Landscaping
5.1: Jobs creation

7 Supplementary Planning Documents:

Public Realm Strategy: Guiding Principles - SPD

8 The National Planning Policy Framework (2019)

Paragraph 11 sets out the presumption in favour of sustainable development. Development plan proposals that accord with the development plan should be approved without delay. Where the development plan is absent, silent or relevant policies are out-of-date then permission should be granted unless any adverse impacts of approval would significantly and demonstrably outweigh the benefits when assessed against the NPPF.

Relevant Planning Applications and Appeals:

- 9 7-2018-9177-DK: Erection of a business and household, storage building, together with associated access, car parking and landscaping. Refused: 9 August 2018

Refusal reason:

It is considered that by reason of its excessive scale, bulk, mass, footprint and height, but also inappropriate layout and poor design, the scheme as proposed would result in a form of overdevelopment, which would appear unduly prominent within the street scene. The proposal would not appear in keeping with the established pattern of development in the business park, and therefore adversely affect the character and appearance of this area. It would fail to provide for a well-connected network of streets and roads, as required by Policy CS6 of the Bournemouth Local Plan: Core Strategy. Furthermore, the development as proposed would result in a loss of biodiversity, which the applicant has failed to mitigate for, by providing biodiversity enhancements. It is therefore considered that the development as proposed would fail to meet the aims of Policies CS6 and CS41 of the Bournemouth Local Plan: Core Strategy, the Bournemouth Public Realm Strategy SPD, and the revised NPPF.

Representations

- 10 4 site notices were displayed on 15 August 2019 with a consultation expiry date of 13 September 2019. The notices were displayed in front of the site on Castle Lane East, at the entrance to the Tesco store on Riverside Avenue, alongside Tringham House on Deansleigh Road and in front of the Village Hotel to the rear of the application site.
- 11 4 further notices were erected on 27 February 2020 advertising amended plans. These site notices had a consultation expiry date of 8 March 2020.
- 12 4 further notices were posted on 28 August 2020 advertising additional amended plans. The notices were in the same positions with a consultation expiry date of 7 September 2020.
- 13 6 letters of objection (3 from one objector) in response to the original plans (summary):

Access Issues:

- Repeat of first application and fails to address objections;
- Application invalid because site access some 20m short of highway thus no access;
- Decision liable to judicial review if approved;
- No right of access from adjoining landowner and permission unimplementable;
- No right of access to connect to footpaths/ cycle paths associated with the public highway;
- Proposal can not demonstrate a well-connected network of roads and streets;
- Unsafe access to Deansleigh Road - LPA's requests need land outside applicant's control;
- No certainty that connection with Tesco will come forward.

Design Issues:

- Over development – excessive in scale, mass, height and bulk;
- Height exceeds neighbouring Tringham House;
- Footprint 15% larger than shown previously;
- Building covers far larger percentage of site than neighbouring land uses;
- Design and appearance out of character with Wessex Fields Estate (brick hotel/ offices);
- Unduly prominent (not a corner plot);
- Sits forward of building line;
- Limited number of jobs created outweighed by adverse impact on wider area;
- Has no regard to its context and seeks to impose company corporate brand;
- Storage building better located on industrial park.

Biodiversity:

- Does not comply with updated NPPF;
- Net biodiversity gain.

Other:

- Application contains inaccuracies;
- Parking provision below standard;
- Inappropriate site use.

- 14 4 letters of objection (3 writers) to amended plans advising that objections remain and raising the following additional concerns (summary):
- Council has accepted status of land at site access as disputed;
 - Council has failed to provide evidence regarding disputed land and process for determining status of this land by neighbouring landowner is being advanced;
 - If approved, Council should impose Grampian condition that no development is carried out until necessary access rights have been granted;
 - Inappropriate for footpaths/ cycle paths to join private land as pedestrians/ cyclists would be discharged onto a private operational roadway;
 - Would not promote permeability but would cause confusion and public safety issues;
 - Extended pedestrian/ cycle route to Tesco beyond application site so not part of proposal;
 - Current access between Tesco and application site has been gated for many years;
 - Revised footprint 7% larger than refused scheme;
 - Quality of route proposed to Tesco poor;
 - Objection letters not uploaded to public website.
- 15 1 further letter in response to the second amendment raising the same issues which it is not felt have been addressed. It is highlighted that the land to be dedicated does not fall within the red edge site boundary and does not form part of the proposals. It is also highlighted that there is no evidence that Tesco support the link questioning whether it can be implemented.
- 16 1 further letter relating to the plan showing land to be dedicated as public highway. The applicant is not able to dedicate land for vehicular access to their site. For land to be capable of being dedicated, it must connect to another public highway and this connects the private service yard with a private road. This dedication offer should be disregarded.
- 17 Dorset Wildlife Trust:

- Site part of identified potential ecological network;
- NPPF states policies and decisions should contribute to and enhance natural environment;
- No further comments once submitted BMEP is agreed by Natural Environment team and DC.

18 Natural England:

Natural England have not advised an objection to this application although they have advised that the application fails to include an acceptable Biodiversity Mitigation and Enhancement Plan (BMEP) and that the proposal would result in substantial and permanent loss of biodiversity. The proposal is not policy compliant until mitigation and compensation has been identified and secured. Subsequently with the working agreement between Natural England and BCP Council no longer in place, Natural England advise that internal advice is sought from the Council's Ecologist as to whether they consider no harm/ degradation will occur as a result of the development (mitigation considered and management secured) to ensure policy compliance.

19 The above issues are addressed in the main report with the exception of the following, which are dealt with as preliminary issues:

Impact of the disputed status of land. Representations have been received regarding the applicant's alleged lack of lawful access from the site to the public highway. This relates to an ongoing dispute regarding the status of a strip of land ("Disputed Land") connecting the undisputed highway at Deansleigh Road to the private road/ accessway leading to the site. The dispute is currently the subject of County Court proceedings. The Council's position is that the Disputed Land is highway land. On this basis the application is not invalid and the red line on the location plan properly includes all necessary land to carry out the proposed development.

However, even if the Council is wrong as to the highway status of the Disputed Land, that does not mean that access cannot be achieved by the applicant. It is often the case that private law arrangements are concluded between parties to overcome such issues of access. Indeed, the applicant does in fact have a private right of way over the private road/ accessway pursuant to a deed of easement. There is therefore no reason to suggest that similar private rights could not be secured over the Disputed Land.

It is not therefore considered appropriate or necessary to deal with the ongoing legal dispute for the purposes of this application. Ultimately, it is the role of the Council as local planning authority to assess if the proposal is acceptable in planning terms – which is what this Report focuses on in the following sections.

Pre-commencement condition. A Grampian condition would be inappropriate in these circumstances. It is not, in the Council's view, relevant to planning or to the Development nor is it reasonable in the circumstances. It is also not necessary; if the Council is wrong as to the Disputed Land and the applicant is unable to secure private rights of access, the Development will in any event be unable to proceed in accordance with the grant of permission.

Consultations

20 Policy Officer: no objection

'...A previous application for the same use - ref 7-2018-9177-DK - was refused on 9.8.2018. However, the refusal reasons do not refer to a conflict with Policy CS26, and the Delegated Report concludes that the erection of storage building is considered appropriate in principle...'

- 21 Urban Design Officer: no objections subject to conditions

'...The proposal by its nature would make a noticeable change to the area, the designs have been carefully revised by the applicant and on balance this would be acceptable in urban design terms, in my opinion.'

- 22 Tree Officer: no objections subject to conditions

'I have assessed the soft landscaping scheme submitted for this site and it forms a high quality scheme and I recommend its approval...'

- 23 Highway Officer: no objection subject to S106 and conditions

'...The proposals represent excellent improvements to the local walking and cycling infrastructure...'

- 24 Ecology Officer: no objection subject to condition

'The biodiversity work as described in paragraph 4.9 of 'Ecological Assessment Planning Application 7-2019-9177-DP', June 2020 by Richard Tofts Ecology and shown in 'Landscape Strategy Plan – Ecological Areas' (Drawing No. 694-LA-P-01, rev H) by Bradford-Smith will provide suitable biodiversity compensation and enhancement for this site...'

- 25 Waste and Recycling Officer: no objections subject to condition

'...The application fails to meet the requirements of the WCA, however with a complaint bin store or a WMP detailing private collection conditioned in a grant of planning permission: No objection....' The subsequently submitted Waste Management Plan is acceptable.

- 26 Environmental Health Officer (land contamination): no condition required

'...The full contaminated land condition is therefore not necessary however I would recommend that an informative note be attached...'

- 27 Drainage Officer: no objection

'There is no objection to the principle, it is the technical detail that is the (minor) issue and that can be subject to a condition.'

- 28 Wessex Water: no objections

Constraints

- 29 Safeguarded employment area as identified by the Bournemouth Local Plan Core Strategy.

Planning Assessment

Site and Surroundings

- 30 The application site is located within the Wessex Fields business park. The area comprises the Tringham and Everdene office buildings to the west and it is understood that this vacant site was also originally intended for similar office buildings. There are other uses including the large Tesco supermarket to the east and Royal Bournemouth Hospital. Bournemouth

Crown and County Courts and the Village Hotel stand to the rear. The character of the area is dominated by the busy Castle Lane East which runs to the front of the application site.

- 31 The application is for a 4/5-storey storage building, with associated car parking. Vehicular access would be via Deansleigh Road. The application has been submitted further to refusal of an earlier planning application.

Key Issues

Principle of Development

- 32 The application site is allocated by the Bournemouth Local Plan for employment purposes. Policy CS26 states that *'New development on the allocated employment sites should provide a use within Use Classes B1, B2 or B8'*. The proposal forms a B8 use thus there can be no in principle objection with the proposal policy compliant in this respect. This reflects the conclusions at the time of the last application. It is noted that the proposal would create 5 full time equivalent jobs as per the last application. The Planning Policy Officer has raised no objection to the proposal on this basis.

Impact on character and appearance of the area

- 33 Notwithstanding that a storage building is acceptable in principle, storage buildings are often characterised by their large box-like design; their design is also invariably heavily influenced by the company brand; e.g. yellow is the predominant colour for 'Big Yellow Self Storage' and orange for Lok n' Store as is the applicant in this case.
- 34 Objections to the previous application focused primarily on the design of the building having regard to its excessive scale, bulk, mass, footprint and height, its inappropriate layout and overall poor design. As such, it was considered that it would appear unduly prominent within the street scene and in this regard, the officer report highlighted that this is not a corner site and therefore, in design terms, the building would be expected to be less dominant within the street scene than the corner plots, with particular regard to Tringham House. The planning officer also commented that *'Although Castle Lane East is a very wide and busy route, it has retained a spacious feel, which gives the area a sense of openness and relatively undeveloped character, particularly as Wessex Fields lies on the outskirts of the conurbation and is within close proximity of the Green Belt'*.
- 35 It was further observed that other buildings had been designed in a sensitive manner set back from the Castle Lane frontage and with Everdene and Tringham Houses' characterised by their architectural articulation and detailing and with pitched roofs helping to break up their overall scale and mass. It was noted that these buildings have a smaller footprint compared with the proposal despite being on plots of comparable size. The retained area of spacing around these buildings was considered to contribute to the spacious feel of the area.
- 36 Overall, the following were highlighted as being of concern previously:
- It was to project significantly forward of the building line set by Tringham House;
 - The building was bulky and over scale for the character of the area;
 - Its boxy and utilitarian appearance;
 - Vast expanses of cladding in corporate colours with cladding not characteristic of the area;
 - Limited glazing;
 - A perceived industrial appearance that would be out of keeping with the business park;
 - The south-east elevation was considered to have the appearance of a rear elevation;
 - No account for pedestrian desire lines across the site from Deansleigh Road to Tesco;
 - A lack of landscaping with the building surrounded by hardstanding;
 - Excessive use of boundary fencing enclosing the site;

- The proposed position of the front boundary fence immediately adjacent to the pavement.

- 37 This application has been submitted further to pre-application discussions that were primarily focused on the design, massing and scale of the building and the site layout. In respect of these amended plans, the Urban Design Officer has commented that in comparison to the refused scheme, the footprint has been brought back from Castle Lane albeit it still steps forward of Tringham House whilst the revised footprint also allows extra landscaping; the amount of space given over to vehicle access and hardstanding has been reduced. Further, this revised scheme includes a path from the Castle Lane frontage to the rear of the site and linking to Tesco; this responds to previous objections regarding a lack of connectivity. This path is addressed further in the highway comments below.
- 38 The height of the proposal has been reduced from up to 6-storeys as previously proposed to a 4/ 5-storey building whilst the irregular shaped footprint and under-croft help to move the building away from a standard box-type appearance which was readily apparent looking at the initial plans. The introduction of brick improves the appearance of the building and helps it better relate to Tringham House; this is in addition to the additional glazing provided. In this regard, the use of different materials and windows helps add articulation.
- 39 Notwithstanding the above, the proposal has been subject to various amendments as a part of this application to improve its design and detailing and notably, the south east elevation that would be readily visible from the Tesco carpark. Overall, these revised proposals, as amended, are considered to comprise a significant improvement on the previously refused plans and the revised proposal is now acceptable in design terms. As such, it would now be compliant with the NPPF paragraphs 127 and 128 which requires high quality design and early discussions between the applicant and planning authority and further, local plan policy in respect of which policy CS41 seeks to ensure that developments and spaces are well designed and of a high quality; the revised proposals achieve this.
- 40 It is noted that this site (where a B8 use is acceptable in principle) has long been vacant with no 'traditional' office building forthcoming. Further, the neighbouring Tesco store on the adjoining site is a typical modular supermarket that presents a large expanse of parking to the street scene. It is also noted that there are pending developments at Bournemouth Hospital where BCP Planning Committee have resolved to grant outline planning permission subject to completion of a S106 Agreement for a building that is likely to be taller and more prominent.
- 41 Concerning landscaping and boundary treatments, there have been various officer concerns and associated improvements have been introduced as a part of the amended details. In response to the most recently amended plans, the Council's Tree Officer advises that the soft landscaping scheme is of high-quality and its approval is recommended. A detailed soft landscaping maintenance specification is also required but this can form the basis of an appropriately worded condition. In this way the proposal complies with policy 4.25 which requires proposals to provide sufficient space for planting and landscaping and CS41 that requires proposals to contribute positively to the appearance and safety of the public realm.

Trees

- 42 The Council's Tree Officer has raised no objections subject to a planning condition requiring compliance with the submitted arboricultural method statement. In so doing, the proposal would be compliant with policy 4.25 in so far as that the arboricultural information submitted is acceptable and provision would be made for future planting.

Ecology

- 43 The first application attracted an associated refusal reason due to a loss of biodiversity and associated lack of mitigation. Since this time, the Council's working agreement with Dorset Council has ceased and a BMEP is not specifically required. This does not negate the need to fully address this issue, however.
- 44 This application includes an Ecological Appraisal which has been assessed by the Council's Ecology Officer. In this regard the biodiversity work described within the report, in summary comprising planting along the southern boundary bank and the western boundary; new sown grassland; new hedgerow; three house sparrow terraces; two bird boxes for hole-nesting birds on trees along the southern bank; hedgehog houses and gaps to allow hedgehog movement, and stag beetle loggerie (log equivalent of a rockery) are acceptable. If these works are implemented in full, it is considered that the application would be compliant with the provisions of the NPPF at paragraph 174 and CS30. In so doing, the proposal would address that part of the previous refusal reason relating to the loss of biodiversity, lack of mitigation and associated enhancement. It would be necessary to attach an appropriately worded condition if permission is granted.

Highway Safety

- 45 The proposed access is from a private road that leads to the Deansleigh Road southern roundabout. At the site entrance, it is proposed to add an additional arm to an existing three arm private road junction, as a four-way crossroads, with the north-south route taking priority. Given that the junction is on a private road, with low flows as described in the transport assessment, the proposed junction layout is acceptable.
- 46 The Transport Assessment contains an assessment of proposed trip generation based on the Aldershot Lok'nStore facility. However, no account is made of the fact that the proposed facility is 40.6% larger than the Aldershot site (effective storage area of 5,203m²), which generates up to 103 vehicle trips per day. Applying the uplift in scale, the development is likely to generate up to 145 vehicle trips per day. The Local Highway Authority conclude that this level of trip generation is not a cause for concern.
- 47 The Parking Supplementary Planning Document estimates that the B8 use would generate a demand for 37 parking spaces. The Transport Assessment proposes a lower allocation, in view of the use and with limited employees. Data is provided from an existing Lok'nStore site in Aldershot which indicates a maximum accumulation of 13 vehicles on a Friday. Applying the 40.6% uplift to account for the larger facility, this site is predicted to generate a pro-rata demand for 18 car parking spaces. 17 parking spaces are proposed; a shortfall of 1 space. The applicant has provided data from other Lok'nStore sites to support the proposed level of parking, which the Local Highway Authority advise is acceptable in this instance.
- 48 The proposed car park layout is acceptable.
- 49 12 staff and 4 visitor cycle parking spaces are proposed. The parking provision and layout is acceptable.
- 50 The application includes a new 4m wide pedestrian/ cycle route through the site to provide a link from Castle Lane East to Tesco. Behind the new building, this route would run alongside the Tesco boundary on land outside the application site but within the applicant's ownership (identified in blue on the plans). This route would include a crossing at the access road for cyclists and pedestrians and with the land for this route to be dedicated as public highway as part of a S106 agreement (the extent of land for adoption has been reduced so that it relates only to this new pedestrian/ cyclist route).

- 51 It would be important to ensure the new 4m wide path felt safe (particularly having regard to that part to the rear of the proposal and alongside the Tesco boundary) to aid attractiveness of use. This would be achieved, in part, by retaining a relatively open boundary with planting that would include frequent low-level sections between trees and with no wall or fence within 4m of the red line (except for a simple post and double rail fence, if required) within the vacant plot abutting the shared use path and this should be included within a S106 agreement. It would also be necessary to include adequate street lighting and direction signage at appropriate intervals.
- 52 Overall, the Local Highway Authority conclude that the development would provide excellent pedestrian and cycle facilities that would be secured in perpetuity. In so doing, the revised proposal would accord with the provisions of the NPPF paragraph 102 that looks for opportunities to promote walking and cycling to be promoted and pursued and CS6 that seeks to improve accessibility and permeability on foot and by cycle by providing well connected, safe and attractive routes.

Residential Amenity

- 53 The application site is remote from neighbouring properties the closest of which are on the opposite side of Castle Lane East. Residential amenity issues did not form part of the refusal reason attached to the last application and there is no associated objection to this scheme.
- 54 In the absences of neighbouring residential properties, the site is flanked by the Tesco store to the east and Tringham House to the west. Having regard to the commercial nature of the adjoining uses, and with a good level of separation to Tringham House, the relationship that is proposed is acceptable. Overall, the proposal would be compliant with CS38 and CS41 in this regard.

Waste and Recycling

- 55 The applicant has submitted a Waste Management Plan that has been reviewed by the Council's Waste and Recycling Officer. He is happy with these details and implementation of the submitted details would need to form the basis of a suitably worded condition if approved. To this extent, the proposal would be compliant with CS38.

Flooding

- 56 The Drainage Officer advises there is no known surface water flood risk and whilst it looks as if there may be an old ditch line crossing the site this would be filled. The application form states that the applicant proposes to dispose of surface water to a 'Sustainable drainage system' and or "a soakaway" and the Drainage strategy drawing shows a large soakaway in the west corner which appears to have all the onsite surface water drainage leading to it; this would comply with the principles of the Bournemouth SuDs policy.
- 57 Additional information has been received responding to specific queries that were raised by the Drainage Officer whilst it is noted that drainage concerns did not provide a reason refusal in respect of the last application. A such, there is no associated objection to this scheme which is considered compliant with policy 3.20 subject to an appropriately worded planning condition and the proposals would be compliant with policy CS4.

Contamination

- 58 The Council's external consultants have assessed the Ground Investigation Report submitted which details that no evidence of contamination was found on site. The consultants advise that assessment represents a robust investigation, that no further work is necessary and a

remedial strategy in unnecessary. On this basis, the proposal is considered to be compliant with policy 3.20. Nevertheless, if unexpected contamination is found, the Council should be informed, and the Environmental Health Officer recommends and associated informative.

Summary

- 59 The scheme which forms the subject of this amended planning application is acceptable and as such, addresses the previous objections raised. This is subject to a S106 agreement and planning conditions.

Planning Balance

- 60 The application seeks full planning permission for a B8 storage use which is acceptable in principle on a site that has long been vacant. Objections have been raised to the design and appearance of the proposal and how it relates to the character of the area. The proposals in their revised form are acceptable and policy compliant. These revised proposals would also facilitate a step change in site connectivity for pedestrians and cyclists whilst the scheme would secure ecological mitigation and enhancements. The proposal would also provide a new employment generating use. The merits of the scheme weigh in favour of the proposal and are considered to outweigh any associated harm.
- 61 Therefore, having considered the appropriate development plan policies and other material considerations, including the NPPF, it is considered that subject to compliance with the conditions attached to this permission, the development would be in accordance with the Development Plan, would not materially harm the character or appearance of the area or the amenities of neighbouring and proposed occupiers and would be acceptable in terms of traffic safety and convenience. The Development Plan Policies considered in reaching this decision are set out above.

Recommendation

- 62 **GRANT** permission with the following conditions, which are subject to alteration/ addition by the Head of Planning Services provided any alteration/ addition does not go to the core of the decision and the completion of a Section 106 agreement with the following terms:

Section 106 terms:

- The construction of new shared use cycle/ footways, as shown on plan P103 P10, including a raised parallel crossing at the site access, street lighting to a standard to be agreed in writing with the Local Planning Authority and direction signage at regular intervals;
- The dedication of the land shown on plan P106 P3 by the Owner as public highway including:
 - land required for the new sections of shared use paths;
 - land adjacent to Castle Lane East (up to 2m in width) to enable the council to widen of the existing segregated cycleway to 4m, subject to an agreement that no structure over 0.6m shall be built on that land and the land shall only be used as a pedestrian footpath or cycle path.
- No wall or fence to be constructed above 1.2m within 4m of the shared use path on the land within the blue line of the application, except for a simple post and double rail fence (if required) without the written permission of the Local Planning Authority;

- Tree planting between the shared use path and the vacant land should retain gaps at ground level of at least 2m in width at regular intervals and at all times. Hedge planting shall be maintained below 1.2m at all times;
- A post and double rail fence not more than 1.2 high by 3m in length is installed at the location shown on plan CLE-FORUM-00-XX-DR-A-XX-P105 rev. P2 and planting adjacent to the fence maintained below 0.6m, in order to provide natural surveillance of the shared use path from the Tesco car park;
- Not to object to the adoption of land between the site access and Deansleigh Road, should the Local Highway Authority proceed to adopt this land.

Conditions:

1. Development to be carried out in accordance with plans as listed

The development hereby permitted shall be carried out in accordance with the following approved plans:

Location Plan; drg no. P100 P1
 Site Location Plan; drg no. P101 P2
 Proposed Site Plan - Hard Landscaping & Boundary Treatments; drg no. P103 P10
 Extent of Works for Footpath/Cycleway in S106; drg no. P105 P2
 Land for Dedication in S106; drg no. P106 P3
 Land Uses in Adjacent Sites; drg no. P110 P3
 Comparison Site Plans; drg no. P111 P4
 Topographic Site Plan; drg no. P160 P2
 Proposed Ground, First & Second Floors; drg no. P200 P3
 Proposed Third, Fourth & Roof Plans; drg no. P201 P3
 Proposed Elevations & Section Sheet 1 of 2; drg no. P302 P4
 Proposed Elevations & Section Sheet 2 of 2; drg no. P303 P4
 Reveal Details and Material Interfaces; drg no. P304 P1
 Street Elevation & Location Plan; drg no. P310 P2
 Landscape Strategy Plan; drg no. 694-LA-P-01 I
 Detailed Planting Plan & Schedule; drg no. 694-LA-P-02 D
 Drainage Strategy; drg no. 17-110D 300 P4

Reason: For the avoidance of doubt and in the interests of proper planning.

2. Prior Approval of Other Materials

Details and/or samples of all external facing materials to be used on the external surfaces of the proposed development shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any superstructure works on site. Development shall be carried out in accordance with the approved details.

Reason: To ensure a satisfactory visual relationship between the existing and the new development in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

3. No external pipework on elevations

Unless shown on the approved elevational drawings any pipework (with the exception of rainwater down pipes) shall be internal to the building.

Reason: In the interests of the visual amenities of the locality and in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

4. Storage Use Only

The premises shall only be used for storage within the meaning of class B8 of the Town and Country Planning (Use Classes) Order 1987 and for no other purpose whatsoever (including any other purpose in Class B8 of the Schedule to the Town and Country Planning (Use Classes) Order 1987, or in any provision equivalent to that Class in any statutory instrument revoking and re-enacting that Order with or without modification).

Reason: To retain proper control over the development and in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

5. Surface Water Drainage (SUDS Implementation)

Prior to the commencement of any substructure works on site (or such other timeline as may otherwise have been agreed in writing by the local planning authority in advance of such substructure works commencing), a scheme for the whole site providing for the disposal of surface water run-off and incorporating sustainable urban drainage systems (SUDS), shall be submitted to and approved in writing by the Local Planning Authority. The drainage works shall be completed in accordance with the approved details prior to occupation of the development or in accordance with a timetable to be agreed in writing by the Local Planning Authority. The scheme shall include the following:

- a) A scaled plan indicating the extent, position and type of all proposed hard surfacing (e.g. drives, parking areas, paths, patios) and roofed areas.
- b) Details of the method of disposal for all areas including means of treatment or interception for potentially polluted run off.
- c) Scaled drawings including cross section, to illustrate the construction method and materials to be used for the hard surfacing (sample materials and literature demonstrating permeability may be required).

Reason: To provide satisfactory drainage for the development in accordance with Policy CS4 of the Bournemouth Local Plan: Core Strategy (October 2012) and in order to achieve the objectives set out in the Local Planning Authority's Planning Guidance Note on Sustainable Urban Drainage Systems.

6. Implementation of the approved Arboricultural Method Statement

The tree protection measures as detailed in the arboricultural method statement dated 20 November 2019 and prepared by eco urban Limited shall be implemented in full and in accordance with the approved timetable and maintained and supervised until completion of the development.

Reason: To ensure that trees and other vegetation to be retained are not damaged during construction works and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002).

7. Landscape Maintenance

Within 3 months of the date of commencement of the development, full details of a landscape maintenance plan for a minimum period of 5 years shall be submitted to and approved in writing by the Local Planning Authority. The plan shall include details of the arrangements for its implementation. The landscape management plan shall be carried out in accordance with the approved details.

Reason: To ensure that the proposed development includes a long-term management plan for the landscaped areas in the interests of visual amenity and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002) and Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

8. Ecology

The compensation and enhancement as given in 'Ecological Assessment: Planning Application 7-2019-9177-DP', June 2020 by Richard Tofts Ecology and shown in 'Landscape Strategy Plan – Ecological Areas' (Drawing No. 694-LA-P-01, rev I) by Bradford-Smith, should be implemented in full and subsequently maintained.

Reason: To be compliant with National Planning Policy Framework paragraphs 8, 170 and 175 "Planning policies and decisions should contribute to and enhance the natural and local environment by minimising impacts on and providing net gains for biodiversity" and Bournemouth Borough Council Core Strategy Policy CS30 Promoting Green Infrastructure.

9. Boundary Treatment (Location shown on plan & type on forms)

Prior to the occupation of the development hereby approved fence(s)/wall(s) shall be erected in the position(s) shown on the approved plans of the type and dimensions specified. The fence(s)/wall(s) shall be thereafter retained unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of amenity and privacy and in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

10. Turning & parking

Before the commencement of development, details of the specification (a typical cross section of the surfacing is required) of the areas for turning and parking, including the marking out of spaces shown on the approved plan shall be submitted to and approved in writing by the Local Planning Authority. These areas shall be constructed and surfaced in accordance with the approved details prior to the first opening of the facility and permanently retained and kept available for the users of the development hereby permitted at all times.

Reason: In the interests of highway safety and in accordance with Policies CS14 and CS16 of the Bournemouth Local Plan: Core Strategy (October 2012).

11. Cycle Store

Before the occupation of any part of the development hereby approved, the visitor cycle parking for 4no. cycles and cycle store for 12 cycles, which must include a 1100mm wide access door, shall be provided as shown on the approved plans and thereafter be retained, maintained adequately for public use and kept available for the employees and visitors to the development at all times.

Reason: To promote the cycling mode of transport and in accordance with Policy CS18 of the Bournemouth Local Plan Core Strategy (October 2012).

12. Provision of a Refuse Management Plan

The Refuse Management Plan submitted and received on 27 March 2020 shall be permanently implemented in full upon the first opening of the facility.

Reason: To ensure that the proposed development includes a long-term management plan for the collection of refuse in the interests of visual and residential amenities, and to accord with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

13. Statement required by National Planning Policy Framework (APPROVALS)

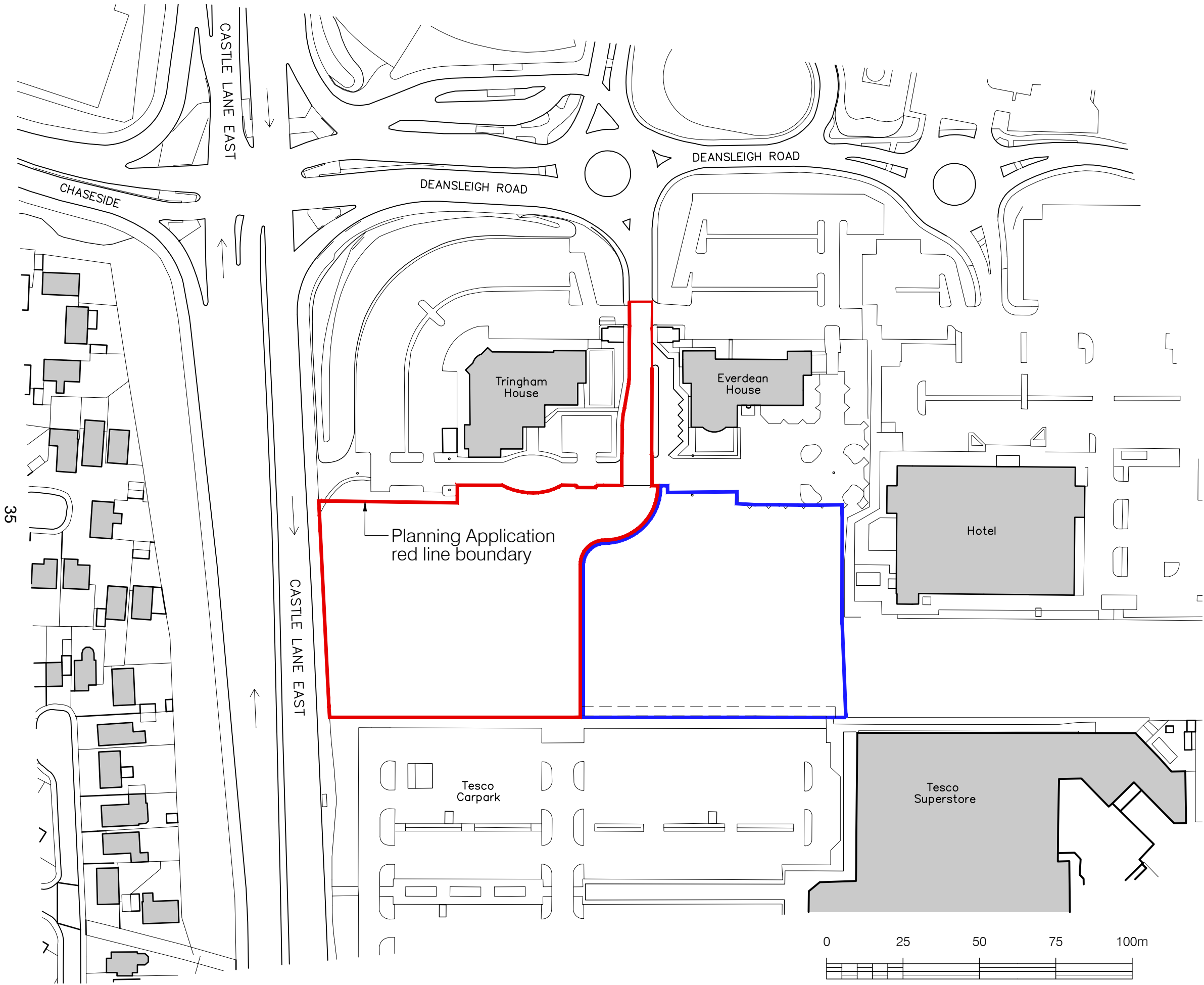
In accordance with paragraph 38 of the revised NPPF the Council, as Local Planning Authority, takes a positive and proactive approach to development proposals focused on solutions. The Council works with applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applicants/agents of any issues that may arise in the processing of their application and where possible suggesting solutions.

In this instance the agent was updated of all the issues raised, provided with an opportunity to respond and planning permission was granted.

14. Informative Note: Potential contamination

INFORMATIVE NOTE: If during site works unforeseen contamination is found to be present then no further development shall be carried out until the developer has consulted the Local Planning Authority. The contamination will need to be assessed and if necessary an appropriate remediation scheme agreed with the Local Planning Authority.

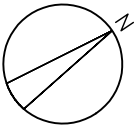
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Notes

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect



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| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | |

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CLIENT
Lok'nStore Limited

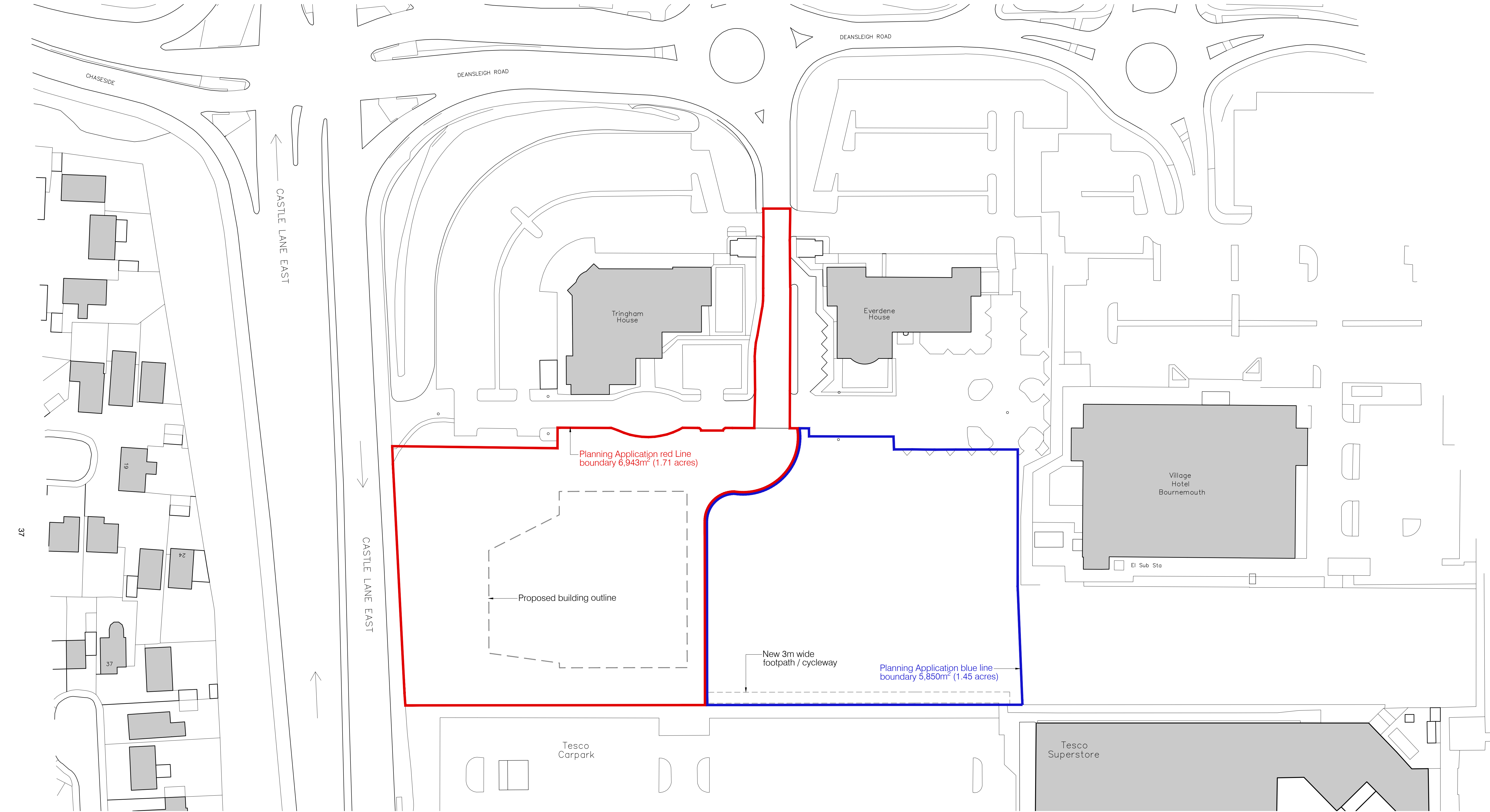
PROJECT
**New Lok'nStore Facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
Location Plan

| | | |
|--------------------------------------|---------------------|--------------------------------|
| DRAWING STATUS PL_PLANNING | DWN BY JL | ORIGINATOR No. 18019 |
| | CHK BY TG | SCALE 1:1250 @A3 |

| | |
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| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | REVISION |
| CLE-FORUM-00-XX-DR-A-XX-P100 | P1 |

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Notes

010203040m

Scale Bar 1:500

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| S2 | P2 | 15/01/20 | Building footprint updated |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect

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CLIENT

Lok'nStore Limited

PROJECT

New Lok'nStore Facility - Land at Wessex Field

Castle Lane East, Bournemouth

DRAWING TITLE

Site Location Plan

DRAWING STATUS

PL: PLANNING

DWN BY

JL

ORIGINATOR No.

18019

CHK BY

TG

SCALE

1:500 @A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER

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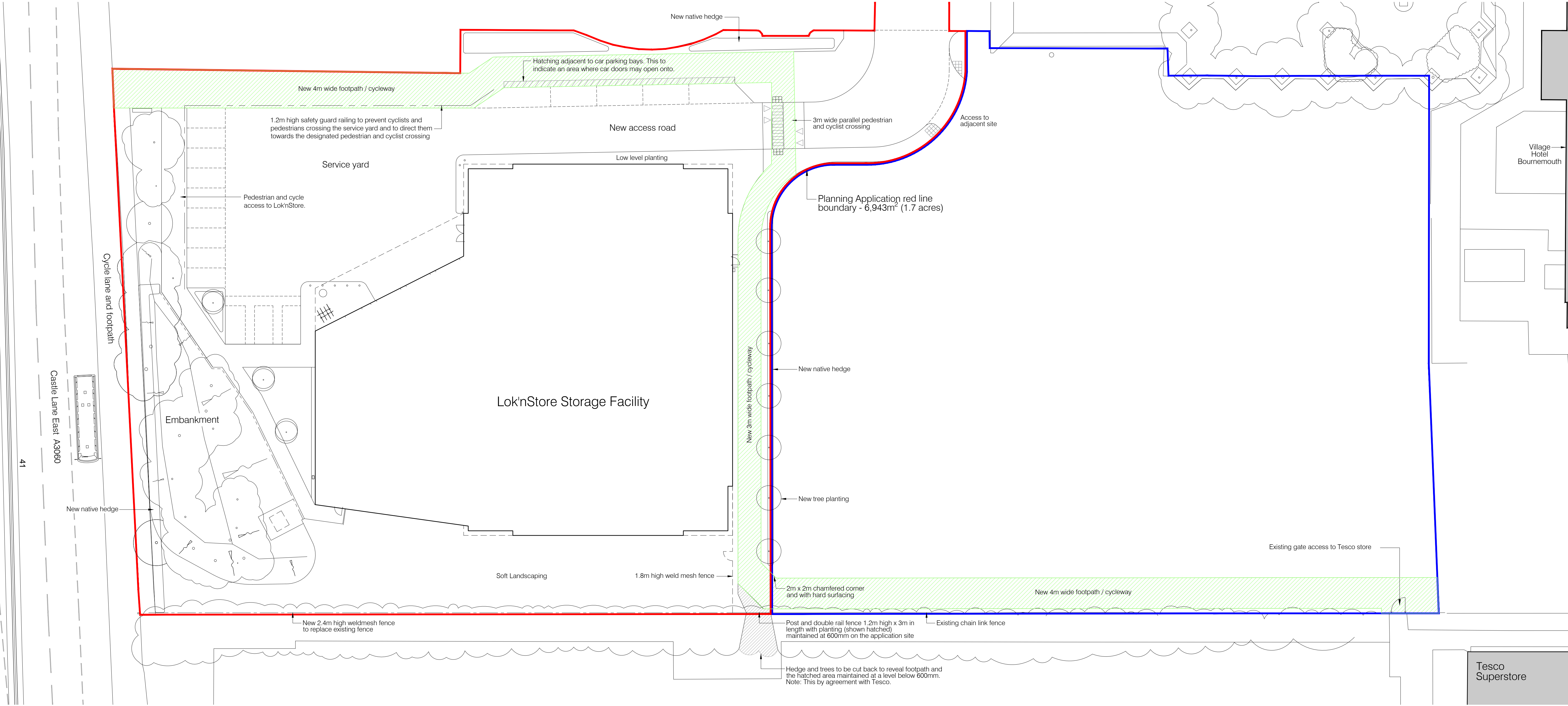
REVISION

P2

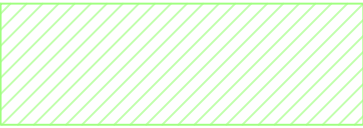
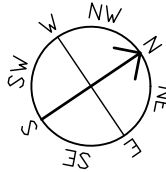
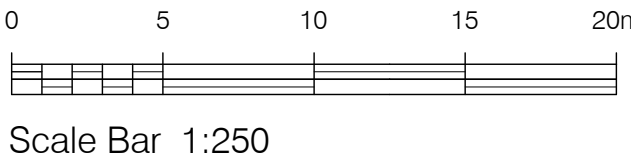
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|---|--|---|---|
| Forum Architecture Ltd Studio 52, Basepoint Andersons Road Southampton, Hampshire SO14 5FE tel: 023 8068 2095 | | FORUM architecture www.forumarchitecture.co.uk | |
| CLIENT Lok'nStore Limited | | | |
| PROJECT New Lok'nStore Facility - Land at Wessex Field Castle Lane East, Bournemouth | | | |
| DRAWING TITLE Proposed Site Plan Hard Landscaping & Boundary Treatments | | | |
| DRAWING STATUS S2: SUITABLE FOR INFORMATION | | DWN BY TG CHK BY AB | ORIGINATOR No. 18019 SCALE 1:250 @A1 |
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER CLE-FORUM-00-XX-DR-A-XX-P103 | | | REVISION P10 |

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Notes

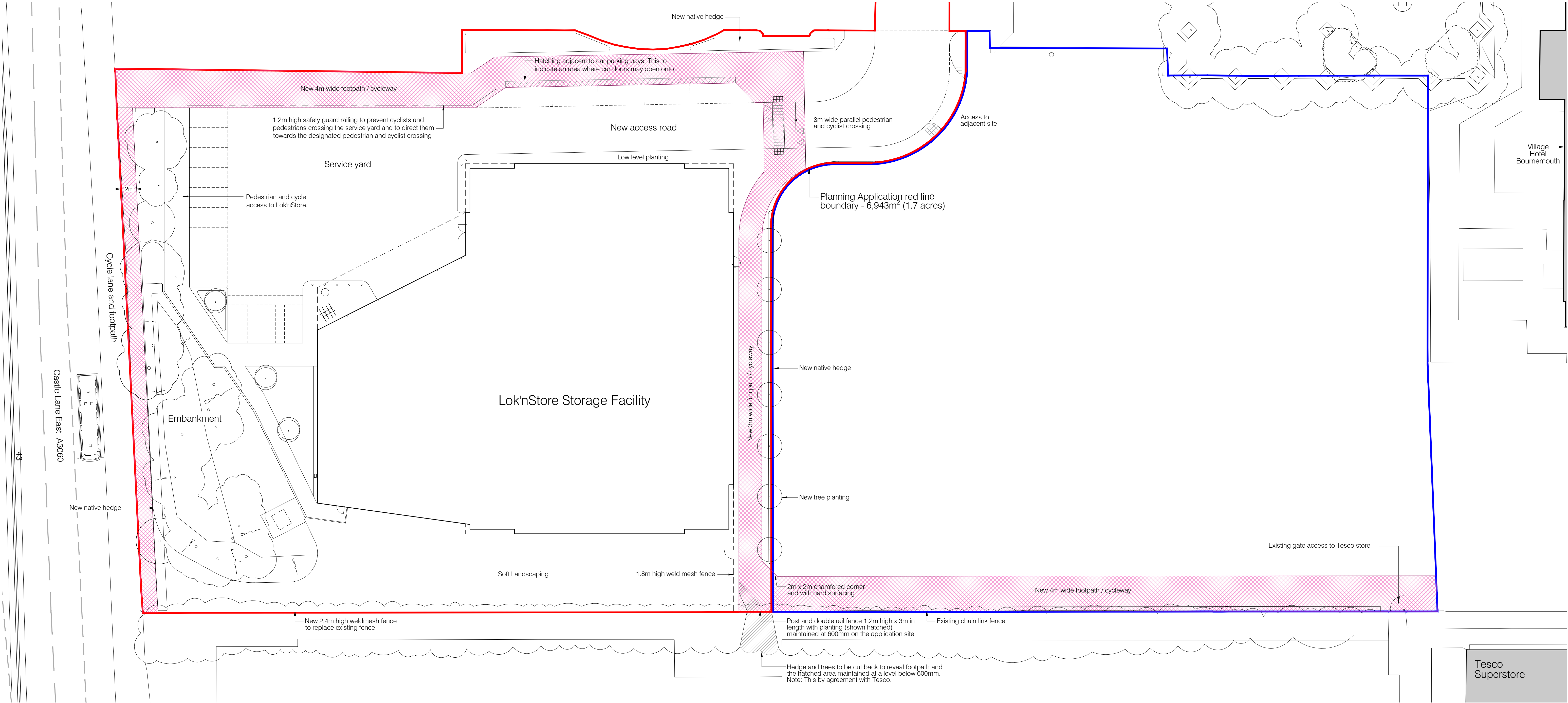


Footpath / cycleway to be constructed as part of a Section 106 Agreement

| | | | |
|---|-----|----------|---|
| S2 | P2 | 21/08/20 | Minor changes to cycle lane access path |
| PL | P1 | 25/09/20 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |
| Scaled dimension are not to be used for construction Contractor to check all dimensions and report omissions and errors to the Architect | | | |

| | | | |
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| CLIENT <div>Lok'nStore Limited</div> | | | |
| PROJECT <div>New Lok'nStore Facility - Land at Wessex Field Castle Lane East, Bournemouth</div> | | | |
| DRAWING TITLE <div>Proposed footpath / cycleway site plan. (Extent of works to be constructed as part of a Section 106 Agreement)</div> | | | |
| DRAWING STATUS <div>S2: SUITABLE FOR INFORMATION</div> | | DWN BY TG | ORIGINATOR No. 18019 |
| | | CHK BY AB | SCALE 1:250 @A1 |
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER <div>CLE-FORUM-00-XX-DR-A-XX-P105</div> | | | REVISION <div>P2</div> |

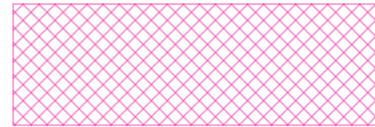
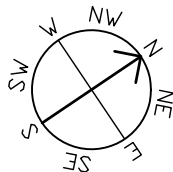
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Notes



Scale Bar 1:250



Proposed land for dedication under a Section 106 Agreement

| | | | |
|--------|-----|----------|---|
| S2 | P3 | 17/11/20 | Change to land for dedication hatching |
| S2 | P2 | 21/08/20 | Minor changes to cycle lane access path |
| PL | P1 | 25/06/20 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

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CLIENT
Lok'nStore Limited

PROJECT
**New Lok'nStore Facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
**Proposed land for dedication under a
Section 106 Agreement**

| | | |
|---|--------------|-------------------------|
| DRAWING STATUS S2: SUITABLE FOR INFORMATION | DWN BY TG | ORIGINATOR No. 18019 |
| | CHK BY AB | SCALE 1:250 @A1 |

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER
CLE-FORUM-00-XX-DR-A-XX-P106

REVISION
P3

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Land uses in adjacent sites

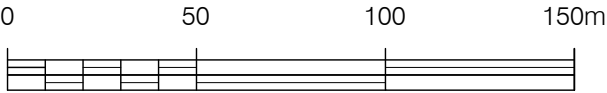
| 1 Tringham House | | |
|------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 4623 | 52 |
| Buildings | 981 | 11 |
| Soft Landscaping | 3351 | 37 |
| Total Site Area | 8955 | 100 |

| 2 Everdene House | | |
|------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 4436 | 62 |
| Buildings | 754 | 10 |
| Soft Landscaping | 1981 | 28 |
| Total Site Area | 7171 | 100 |

| 3 Village Hotel | | |
|------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 10942 | 67 |
| Buildings | 2578 | 16 |
| Soft Landscaping | 2721 | 17 |
| Total Site Area | 16241 | 100 |

| 4 Tesco Superstore | | |
|--------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 21233 | 51 |
| Buildings | 9729 | 23 |
| Soft Landscaping | 10766 | 26 |
| Total Site Area | 41728 | 100 |

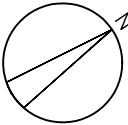
| 5 Lok'n Store | | |
|------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 2306 | 35 |
| Buildings | 2352 | 36 |
| Soft Landscaping | 1856 | 29 |
| Total Site Area | 6514 | 100 |



Scale Bar 1:2000

Notes

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect



| | | | |
|--------|-----|----------|-------------------------------------|
| S2 | P3 | 21/08/20 | Building footprint and data updated |
| S2 | P2 | 15/01/20 | Building footprint and data updated |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | |

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CLIENT
Lok'nStore Limited

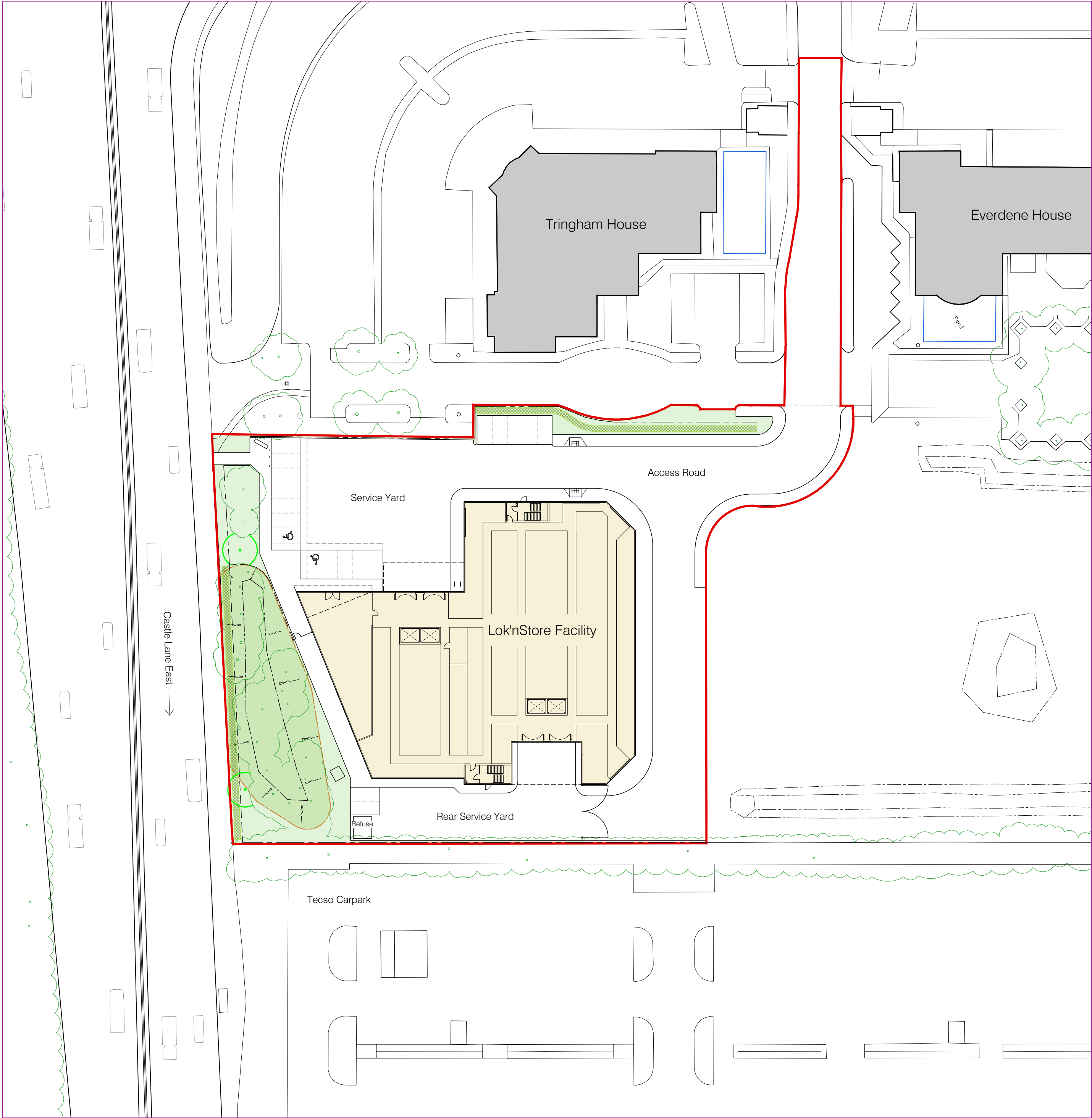
PROJECT
**New Lok'nStore Facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
Land Uses in Adjacent Sites

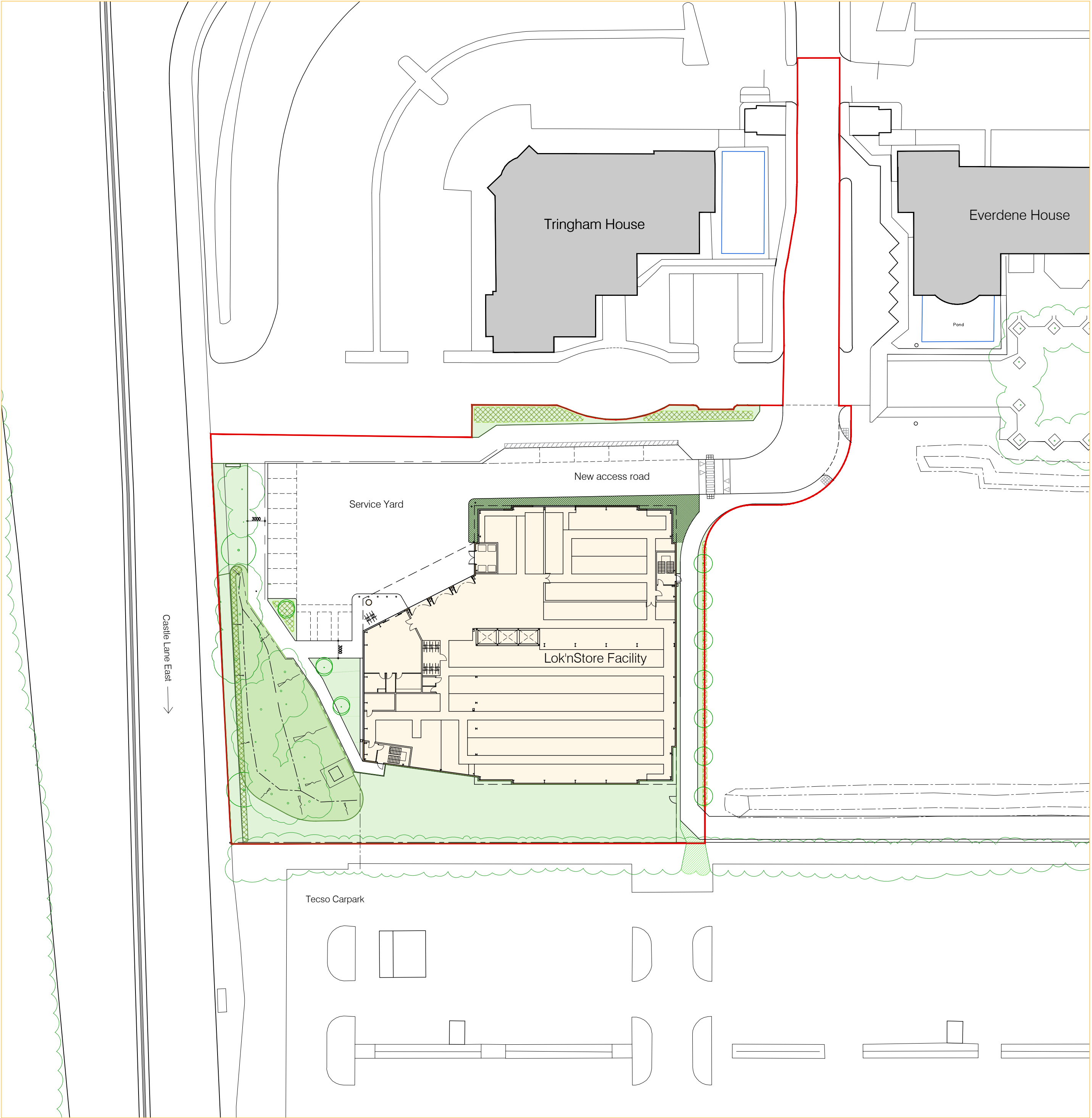
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|--------------------------------------|---------------------|--------------------------------|
| DRAWING STATUS PL_PLANNING | DWN BY JL | ORIGINATOR No. 18019 |
| | CHK BY TG | SCALE 1:2000 @A3 |

| | |
|---|-----------|
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | REVISION |
| CLE-FORUM-00-XX-DR-A-XX-P110 | P3 |

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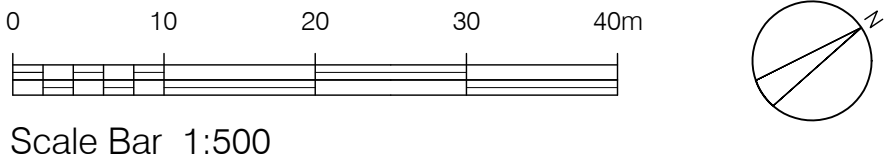


Site Plan
Previous Planning Application



Site Plan
New Planning Application

Notes



| Lok'n Store Previous Application | | |
|----------------------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 3334 | 51 |
| Buildings | 2070 | 32 |
| Soft Landscaping | 1110 | 17 |
| Total Site Area | 6514 | 100 |

| Lok'n Store New Application | | |
|-----------------------------|----------------|-----|
| | m ² | % |
| Parking & Roads | 2306 | 35 |
| Buildings | 2352 | 36 |
| Soft Landscaping | 1856 | 29 |
| Total Site Area | 6514 | 100 |

| | | | |
|--------|-----|----------|----------------------------|
| S2 | P4 | 21/08/20 | Minor amendments to areas |
| S2 | P3 | 20/02/20 | Minor amendments |
| S2 | P2 | 16/01/20 | Building footprint updated |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

Scaled dimension are not to be used for construction
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CLIENT
Lok'nStore Limited

PROJECT
**New Lok'nStore Facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
**Comparison Site Plans
(Previous & New Planning Applications)**

DRAWING STATUS
PL: PLANNING

DWN BY
JL

ORIGINATOR No.
18019

CHK BY
TG

SCALE
1:500 @A1

PROJECT | ORIGINATOR | ZONE | LEVEL | TYPE | ROLE | CLASSIFICATION | NUMBER
CLE-FORUM-00-XX-DR-A-XX-P111

REVISION
P4

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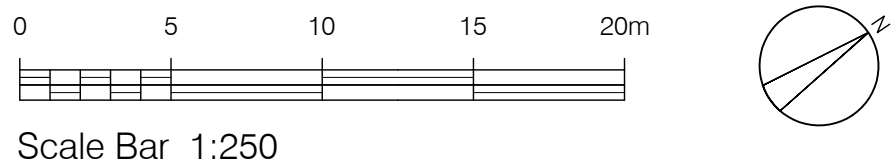
| STATION SCHEDULE | | | | |
|------------------|------------|-----------|--------|------|
| STN No | EASTINGS | NORTHINGS | HEIGHT | TYPE |
| 01 | 412840.999 | 93974.164 | 10.084 | Nail |
| 02 | 412853.981 | 94009.271 | 10.290 | Nail |
| 03 | 412901.394 | 94000.976 | 10.933 | Peg |
| 04 | 412867.716 | 93936.107 | 10.942 | Peg |
| 50 | 412816.892 | 93950.742 | 10.580 | Nail |

LEGEND

| | | | | | |
|-----------------|-----|-----------------------|-------|-----------------------------------|-------|
| ALDER | ALD | BARBED WIRE FENCE | BWF | BOLLARD | B |
| ASH | ASH | CORRUGATED IRON FENCE | CIF | BELUSH BEACON | BB |
| ASPEN | ASP | CLOSE BOARD FENCE | CBF | BRITISH TELECOM BOX | BTB |
| BEECH | BOX | CHAIN LINK FENCE | CLF | BRITISH TELECOM INSPECTION COVER | BTIC |
| BOX ELDER | BOX | CHESTNUT PALING | CDF | BUS STOP | BS |
| CEDAR | CEC | CRASH BARRIER | CRB | CABLE TELEVISION INSPECTION COVER | CAIV |
| CHERRY | CHY | HANDRAIL | HCL | CABLE TELEVISION BOX | CATB |
| COTONEASTER | COT | IRON RAILINGS | IRF | CONTROL BOX | CB |
| CYPRESS | CYP | INTERLOCKED FENCE | IMF | DRYING ROD | DR |
| ELM | ELM | IRON MESH FENCE | IMF | ELECTRICITY BURIED CABLE MARKER | ELBC |
| FIR | FIR | LARCH LAP FENCE | LTF | ELECTRICITY CABLE PIT | ELCP |
| FRUIT | FRT | MISCELLANEOUS FENCE | Mis F | ELECTRICITY CONTROL BOX | ECB |
| HAWTHORN | HAW | PALING FENCE | PF | ELECTRICITY Pylon | EPYLN |
| HAZEL | HZL | RAILWADE FENCE | RWF | ELECTRICITY SUPPLY | ES |
| HOLLY | HLV | PICKET FENCE | PKF | FIRE HYDRANT | PH |
| HORSE CHESTNUT | HCH | POST AND CHAIN FENCE | PCF | FLAT STAFF | FS |
| HORNBEAM | HRM | POST AND RAIL FENCE | PRF | FLOWERBED | FB |
| LABURNUM | LBN | POST AND WIRE FENCE | PWF | FOOTPATH | FP |
| LARCH | LAR | STOCK WIRE FENCE | SWF | GAS CONTROL BOX | GCB |
| LAUREL | LRL | WIRE MESH FENCE | WMF | INSPECTION COVER | IC |
| LINE | LNE | TRUSS | TLS | LAMP POST | LP |
| LOCUST | LOC | RETAINING WALL | RWH | LETTER BOX | LB |
| LYON PLANE | LYP | BASEMENT LEVEL | BTL | LITTER BIN | LBIN |
| MAHOGANY | MAH | ROOF LEVEL | RL | MANHOLE (FOUL OR SURFACE) | MO |
| MAPLE | MPL | COVER LEVEL | CL | NAME PLATE | NP |
| MULBERRY | MAK | DAMP PROOF COURSE | DPC | NAME BOARD | NB |
| PINE | PNE | FLOOR LEVEL | FL | OVERHEAD CHABLE | OHC |
| POPULAR | POP | INVERT LEVEL | IL | POST | P |
| PRUNUS | PNS | OUTFALL LEVEL | OL | RAIN WATER PIPE | RWP |
| RHYODODENDRONS | RND | THRESHOLD LEVEL | TL | RAISED FLOWERBED | RFB |
| ROWAN | RWN | FULL WATER | FW | REFLECTOR POST | RP |
| SILVER BIRCH | SIB | SURFACE WATER | SW | ROAD SIGN | RS |
| SORBUS | SOR | GULLY | G | RODDING EYE | RE |
| SPRUCE | SPR | UNABLE TO LIFT | UTL | SERVICE MARKER POST | SMP |
| STRAWBERRY | STR | OBSTRUCTED | OB | SOL VENT PIPE | SVP |
| SWEET CHESTNUT | SCH | STOP COOK | SC | STOP VALVE | SV |
| SYCAMORE | SYC | CONCRETE | Conc | TELEGRAPH POLE | TP |
| WALNUT | WNT | PAVING SLABS | PS | TELEPHONE CALL BOX | TCB |
| WILLOW | WLW | BRICK PAVING | BP | TRAFFIC LIGHTS | TL |
| YEW | YEW | STONE SETS | SS | TRAFFIC SIGNAL CONTROL BOX | TSCB |
| SPECIES UNKNOWN | SFU | TACTILE PAVING | Tac | WATER METER | WM |
| | | TARMAC | Tar | WATER TAP | WT |
| | | DRAINAGE CHANNEL | DRC | WATER TROUGH | WT |

TREES 3 / 3T or Multi / 12 / Sp 10
(Bole Size) (No of Boles) (Bolt Size) (Height) (Spread)
Spreads and heights are indicative only

Notes



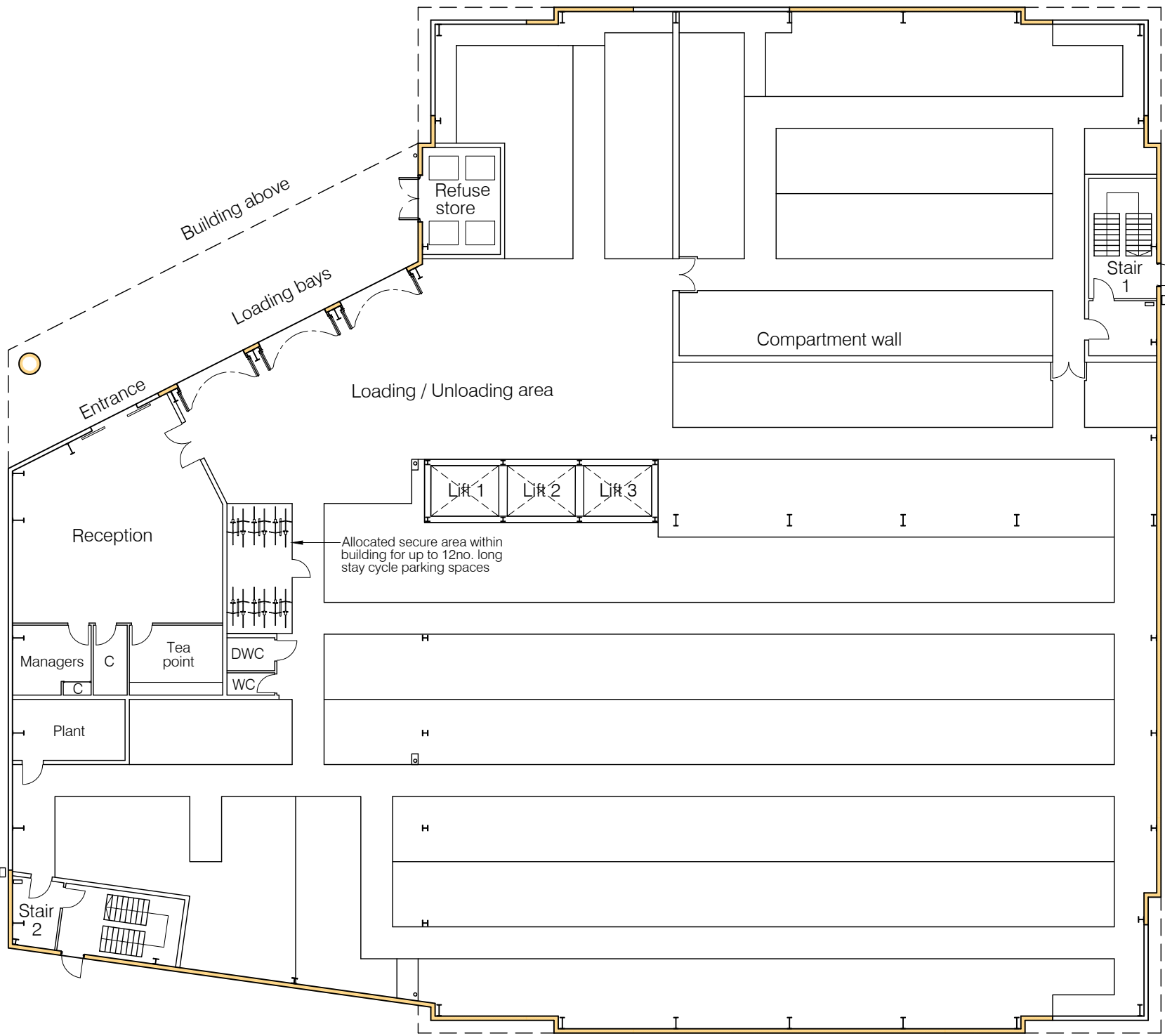
Topographic survey information provided by Digital Terrain Surveys LLP
Drawing number: DTS111217-4X7 / December 2017

| | | | |
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| S2 | P2 | 16/01/20 | Building footprint updated |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |
| Scaled dimension are not to be used for construction Contractor to check all dimensions and report omissions and errors to the Architect | | | |

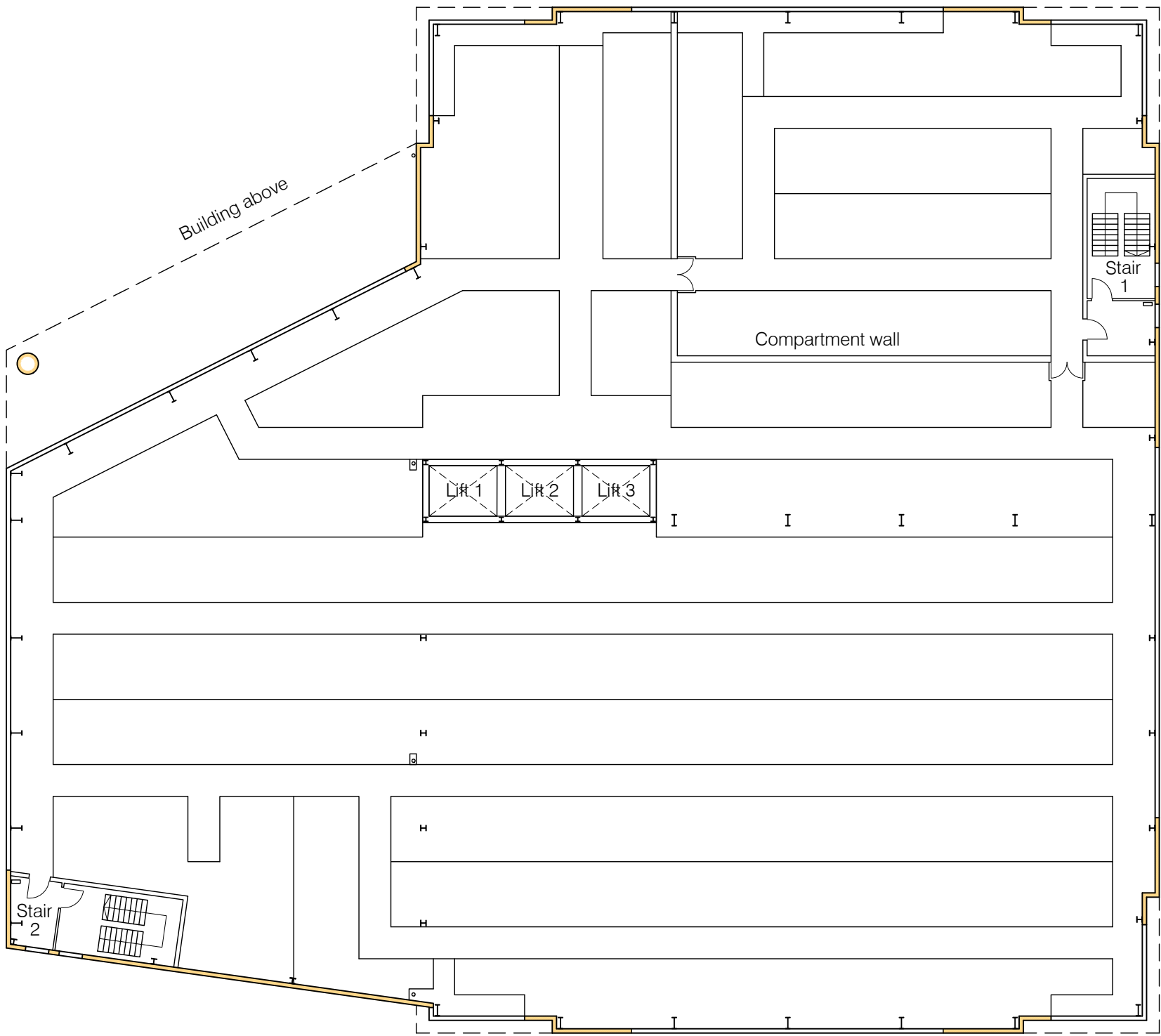
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| CLIENT | | | |
| Lok'nStore Limited | | | |
| PROJECT | | | |
| New Lok'nStore Facility - Land at Wessex Field Castle Lane East, Bournemouth | | | |
| DRAWING TITLE | | | |
| Topographic Site Plan | | | |
| DRAWING STATUS | DWN BY | ORIGINATOR No. | SCALE |
| PL: PLANNING | JL | 18019 | |
| | CHK BY | | |
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| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | | | REVISION |
| CLE-FORUM-00-XX-DR-A-XX-P160 | | | P2 |

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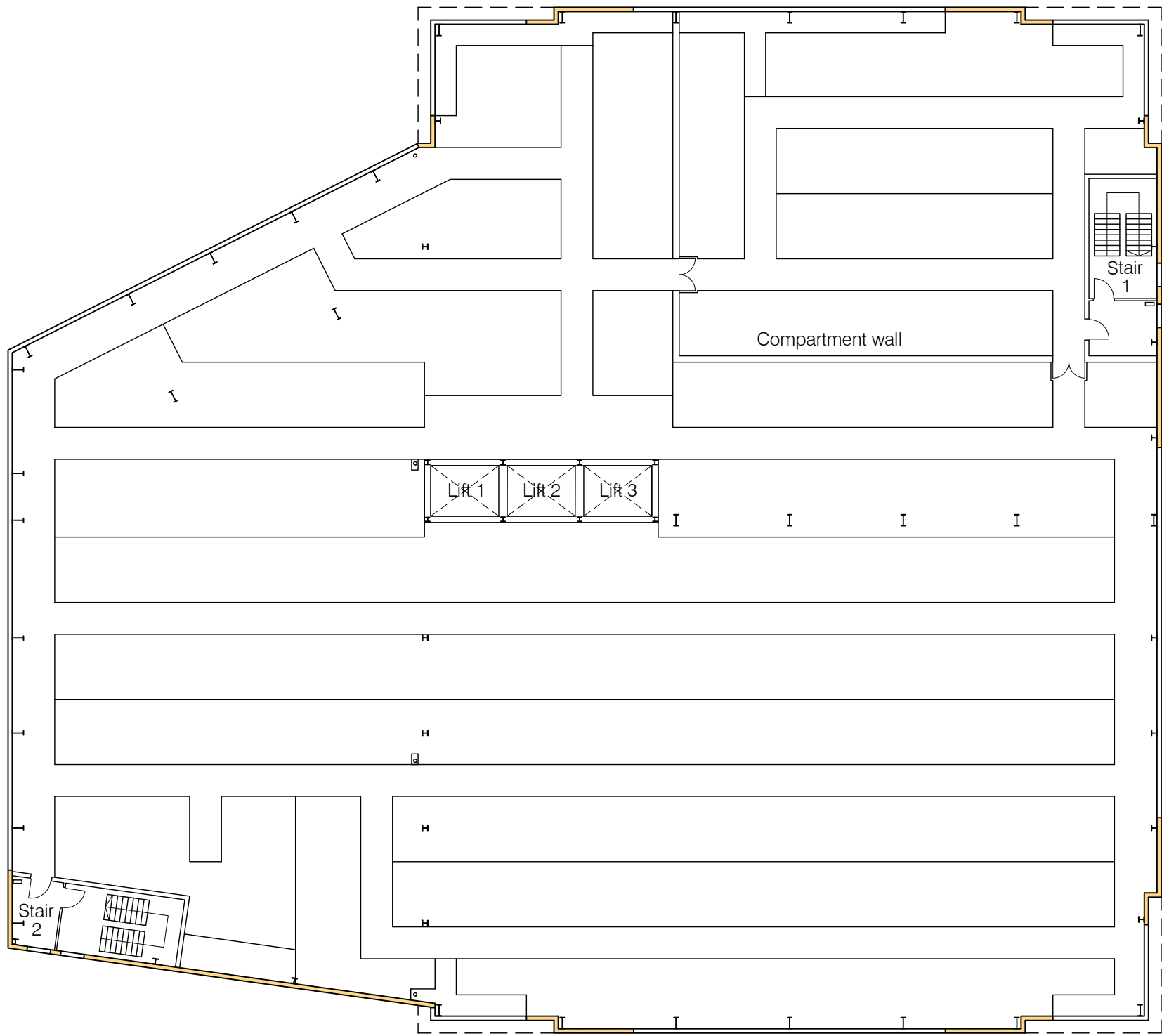
51



Ground Floor
GIA = 2180m²



First Floor
GIA = 2180m²

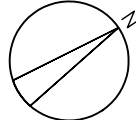


Second Floor
GIA = 2287m²

Notes



Scale Bar 1:250



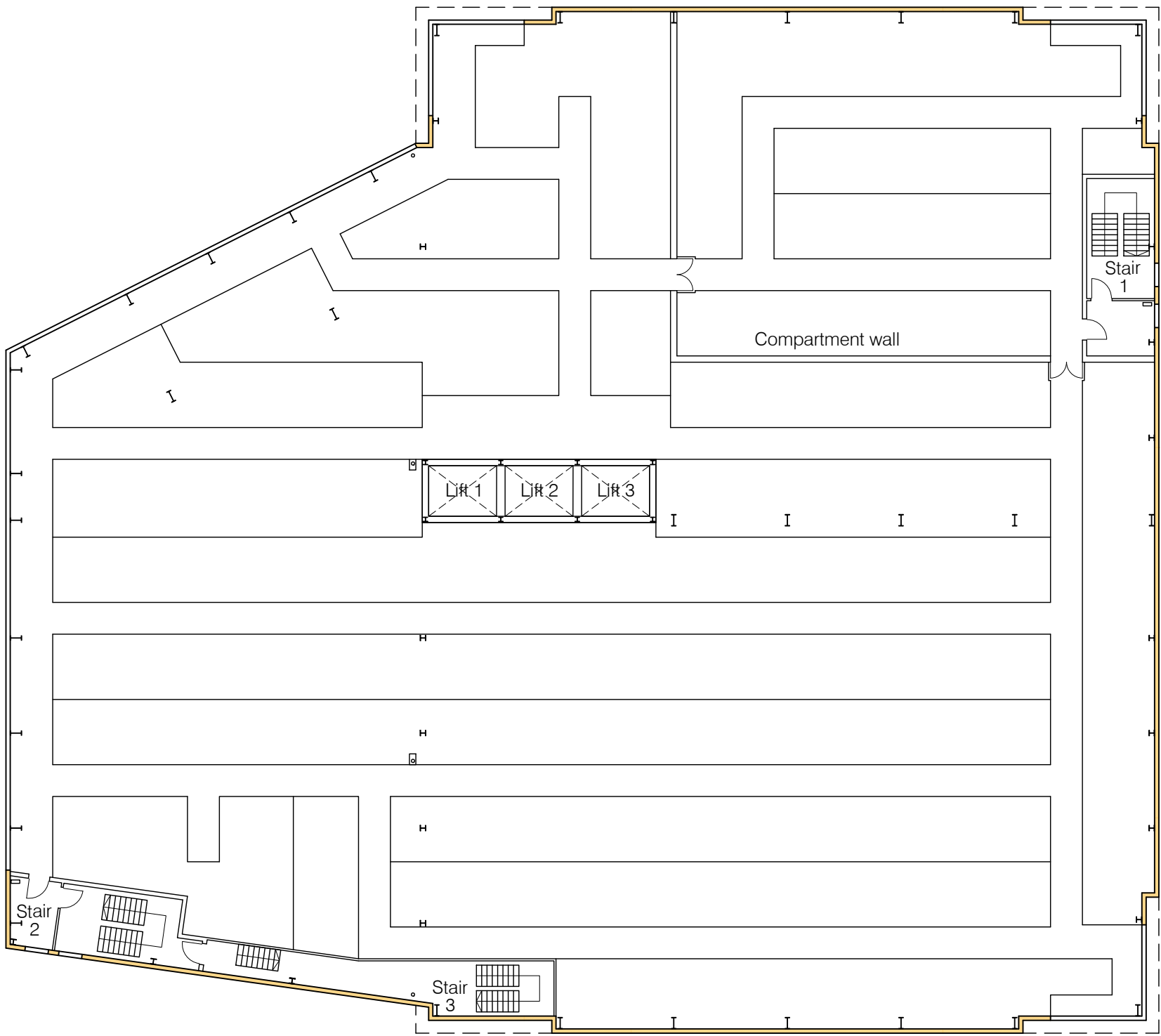
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|--------|-----|----------|--|
| S2 | P3 | 15/01/20 | Minor hatching update |
| S2 | P2 | 24.12.19 | Plans updated to suit new elevation design |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect

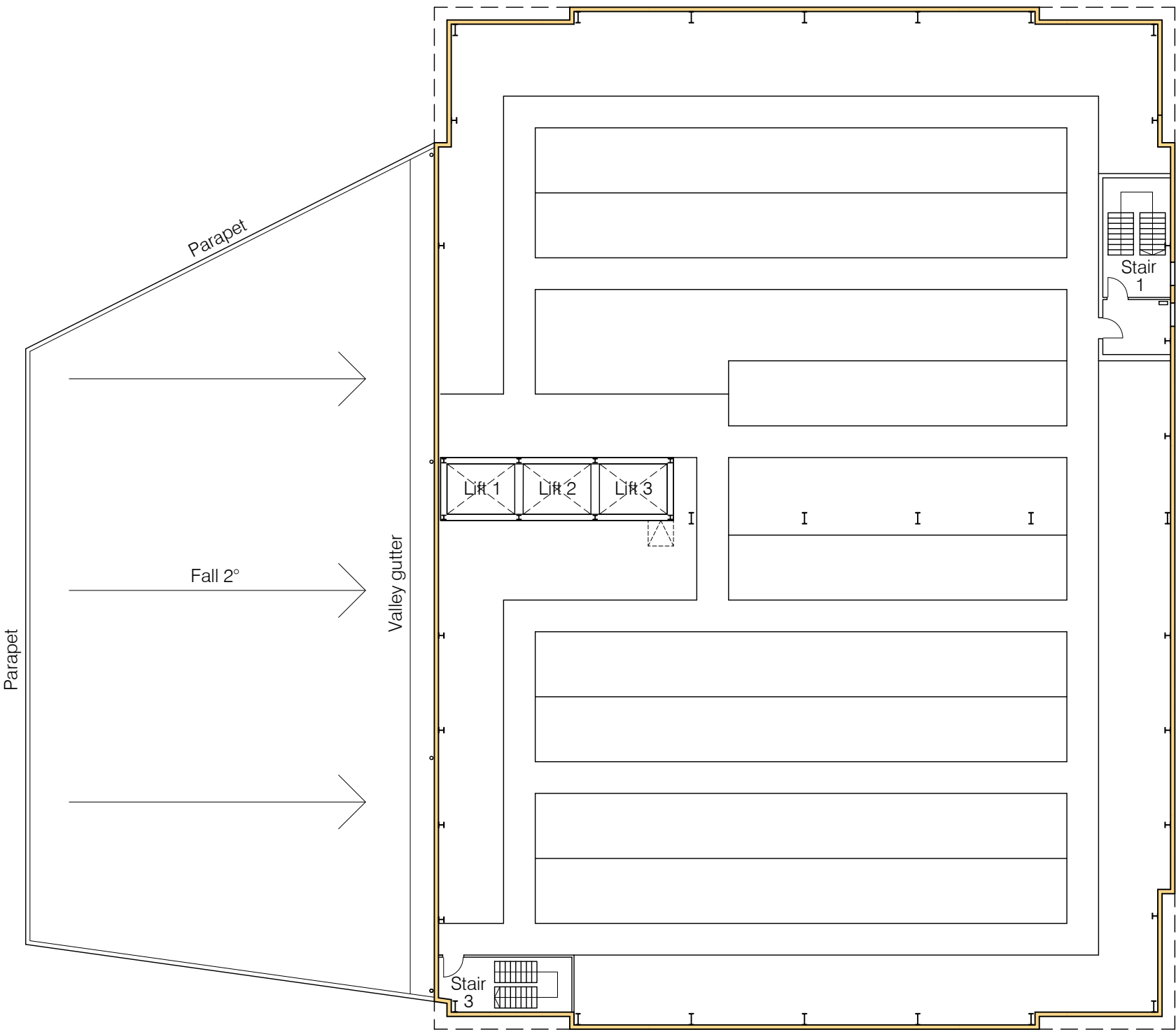
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|--|--|--|--|---|-------------------------|
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| CLIENT Lok'nStore Limited | | | | | |
| PROJECT New Lok'nStore Facility - Land at Wessex Field Castle Lane East, Bournemouth | | | | | |
| DRAWING TITLE Proposed Floor Plans Ground, First & Second Floor Plans | | | | | |
| DRAWING STATUS S2: SUITABLE FOR INFORMATION | | | | DWN BY JL | ORIGINATOR No. 18019 |
| | | | | CHK BY TG | SCALE 1:250 @A1 |
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER CLE-FORUM-00-ZZ-DR-A-XX-P200 | | | | | REVISION P3 |

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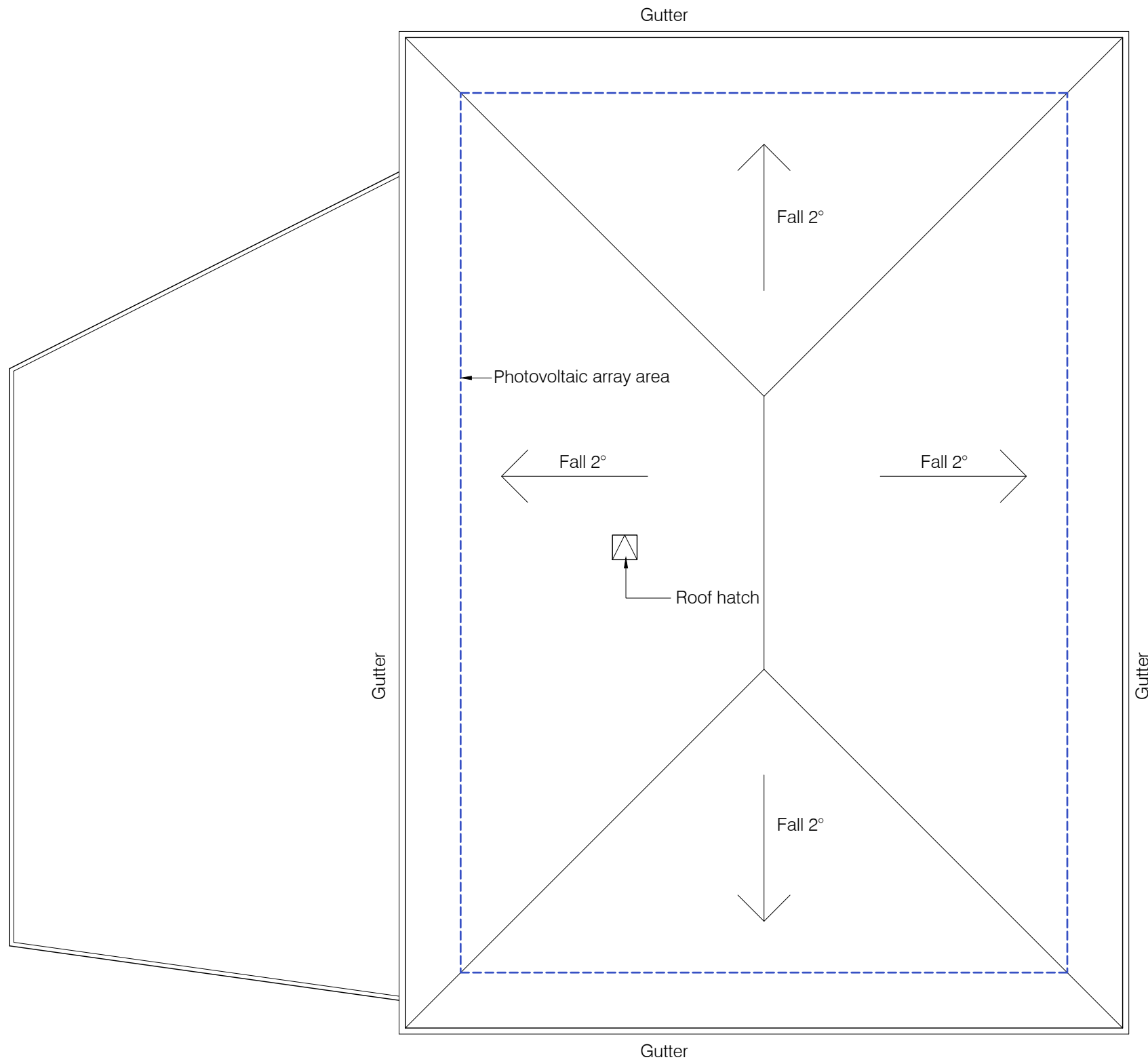
53



Third Floor
GIA = 2287m²



Fourth Floor
GIA = 1630m²

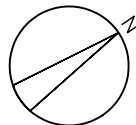


Roof

Notes



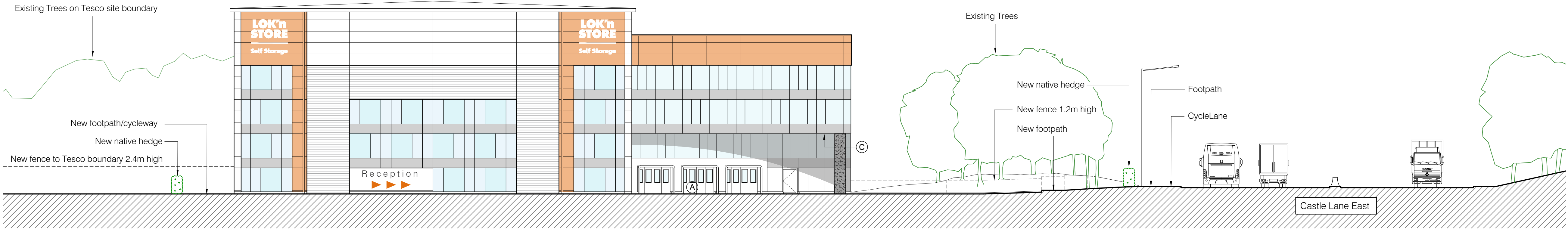
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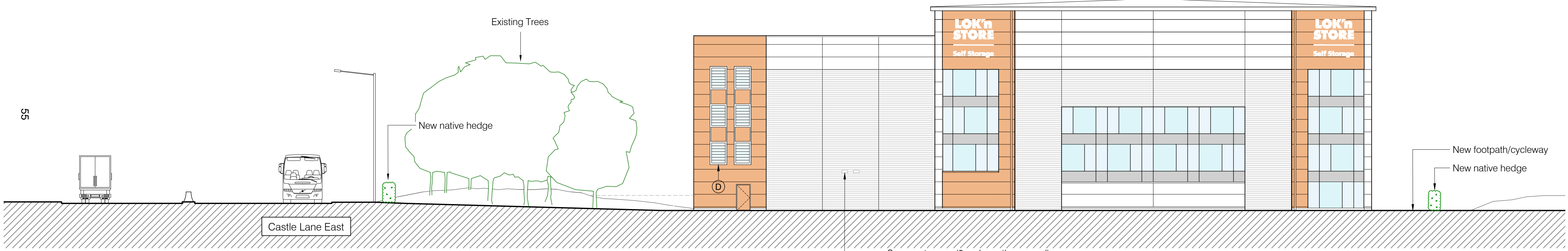
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|---|-----|----------|--|
| S2 | P3 | 15/01/20 | Minor hatching update |
| S2 | P2 | 24.12.19 | Plans updated to suit new elevation design |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |
| Scaled dimension are not to be used for construction Contractor to check all dimensions and report omissions and errors to the Architect | | | |

| | | | | | |
|---|--|--|--|---|----------------|
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| CLIENT | | | | | |
| Lok'nStore Limited | | | | | |
| PROJECT | | | | | |
| New Lok'nStore Facility - Land at Wessex Field | | | | | |
| Castle Lane East, Bournemouth | | | | | |
| DRAWING TITLE | | | | | |
| Proposed Floor Plans | | | | | |
| Third Floor, Fourth Floor & Roof Plans | | | | | |
| DRAWING STATUS | | | | DWN BY | ORIGINATOR NO. |
| S2: SUITABLE FOR | | | | JL | 18019 |
| INFORMATION | | | | CHK BY | SCALE |
| | | | | TG | 1:250 @A1 |
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | | | | | REVISION |
| CLE-FORUM-00-ZZ-DR-A-XX-P201 | | | | | P3 |

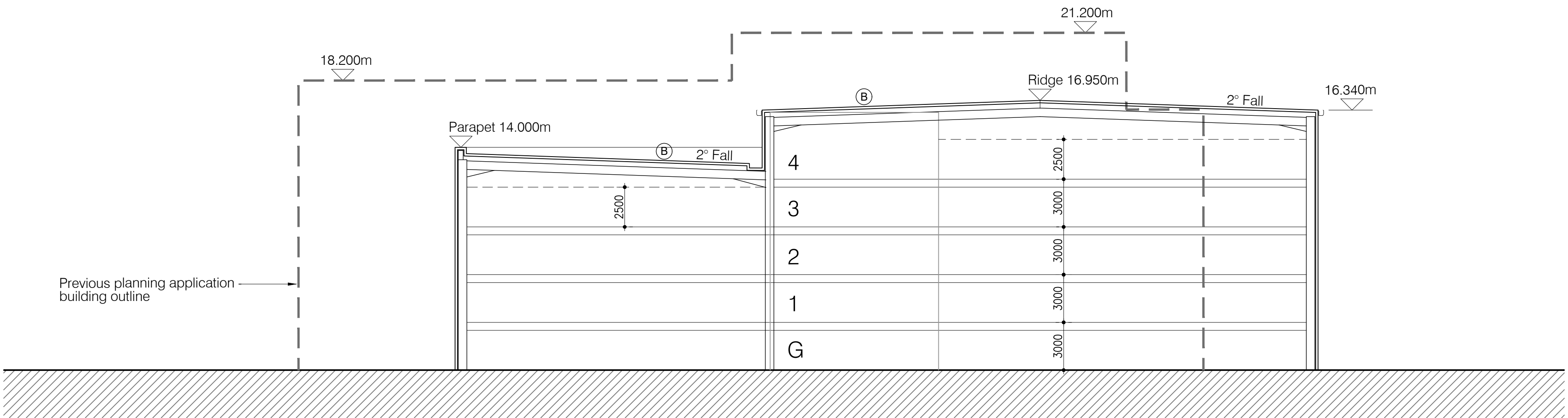
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Elevation 3 (North West)



Elevation 4 (South East)



Section B-B

Notes

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect

Elevation Materials Key

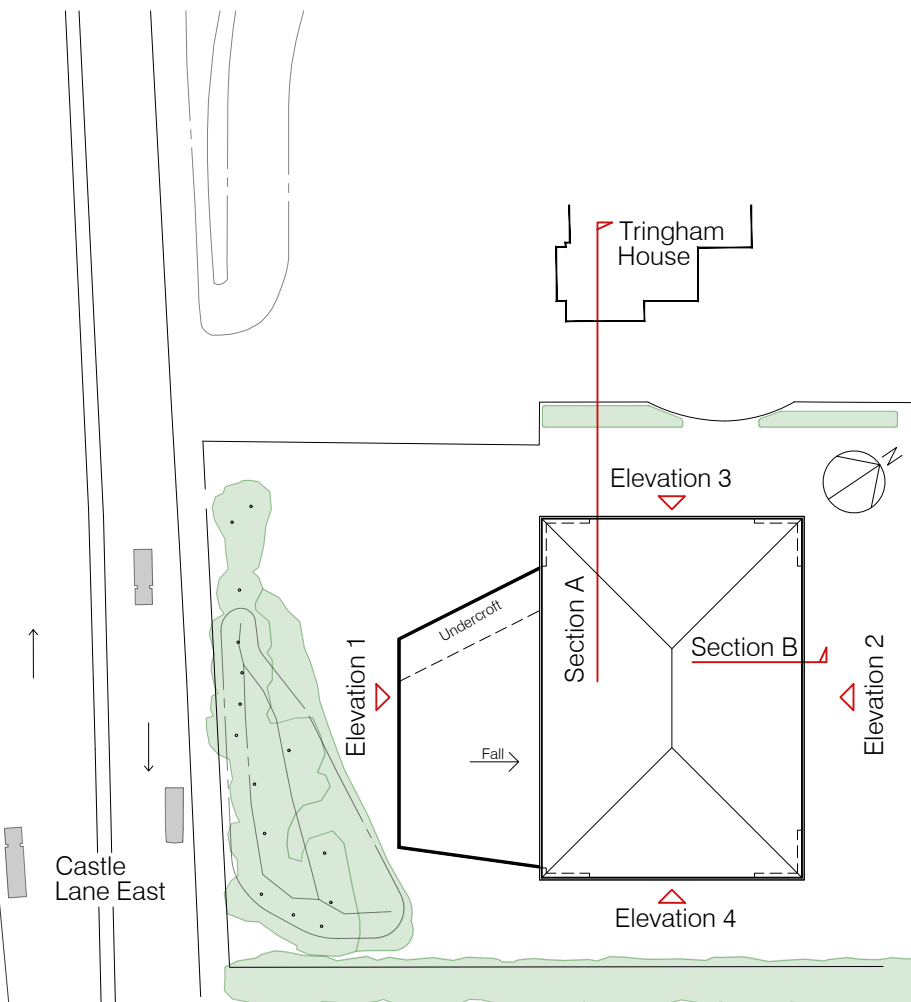
- A - Bi-folding doors with integral glazed panels - Colour: White (RAL 9010)
- B - Insulated single ply roof system - Colour: Mid Grey (RAL 7046)
- C - Undercroft soffit - Flat interlocking panels - Colour: White (RAL 9010)
- D - Glazed smoke louvre system with neutral colour glass / Light Grey spandrel panels

Cladding and Glazing Legend

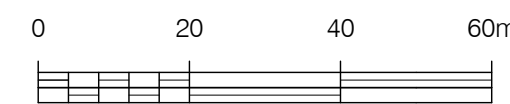
- 1.0m high x 150mm thick Qbiss One System. Flat modular architectural facade element with expressed joints:
 - External facing material - Colourcoat Prisma (metal)
 - Profile - Flat
 - Colours - Orange (RAL 2008) / White (RAL 9010)

- SSG curtain wall system:
 - Neutral glass
 - Light Grey spandrel panels

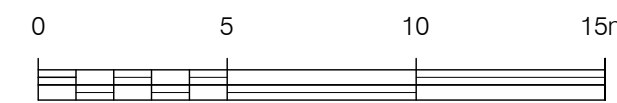
- Brickwork:
 - Traditional Brick & Stone Ltd. Brick type: Mystique www.traditionalbrickandstone.co.uk/product/mystique



Reference Plan - 1:1000



Scale Bar 1:1000



Scale Bar 1:200

| | | | |
|--------|-----|----------|-------------------------|
| S2 | P4 | 15/01/20 | Minor hatching update |
| S2 | P3 | 24/12/19 | Boundary fences amended |
| S2 | P2 | 23/12/19 | Cladding design revised |
| S2 | P1 | 17/07/19 | INITIAL ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

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CLIENT
Lok'nStore Limited

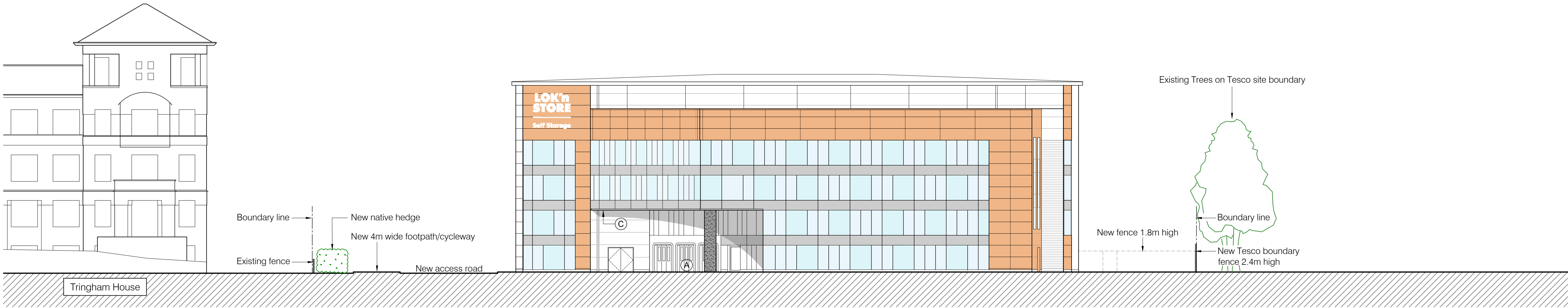
PROJECT
**New Lok'nStore facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
**Proposed Elevations and Section
Sheet 1 of 2**

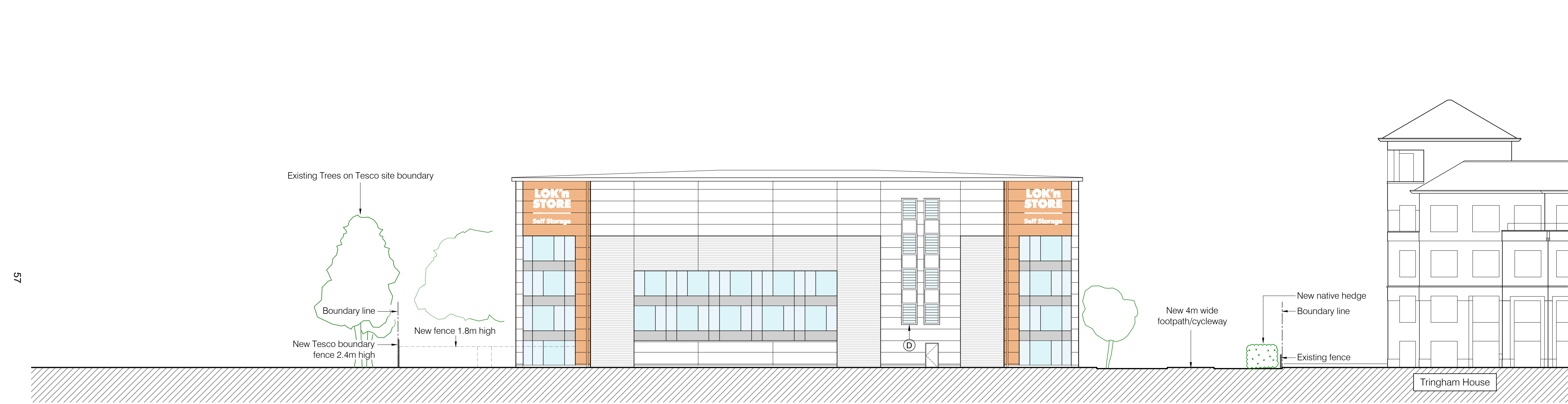
| | | |
|---|---------------------|-----------------------------------|
| DRAWING STATUS S2: SUITABLE FOR INFORMATION | DWN BY AB | ORIGINATOR No 18019 |
| | CHK BY PM | SCALE 1:200 / 1000 @ A1 |

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| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | REVISION |
| CLE-FORUM-00-ZZ-DR-A-XX-P302 | P4 |

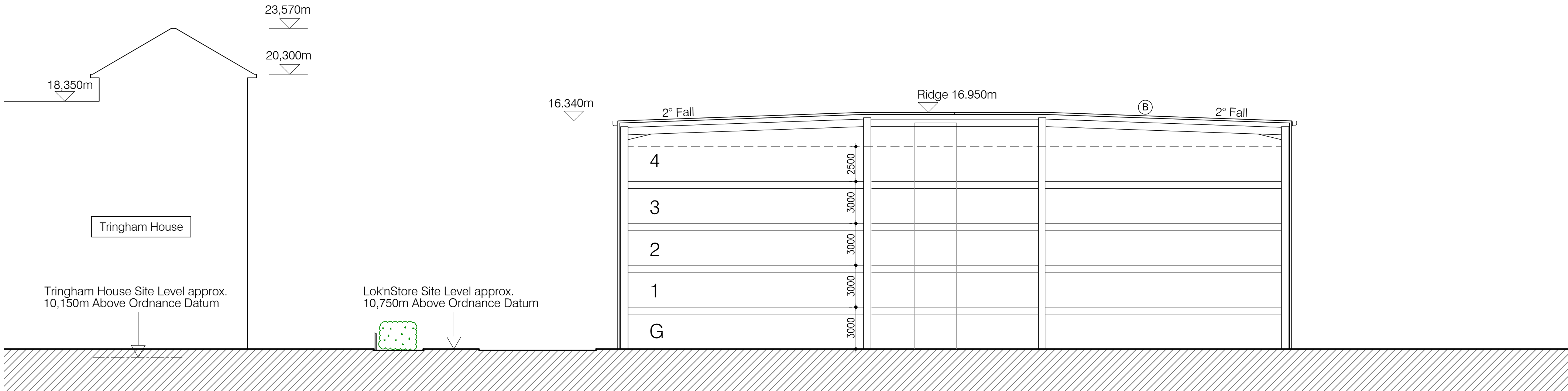
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Elevation 1 (South West)



Elevation 2 (North East)



Section A-A

Notes

Scaled dimension are not to be used for construction
Contractor to check all dimensions and report omissions and errors to the Architect

Elevation Materials Key

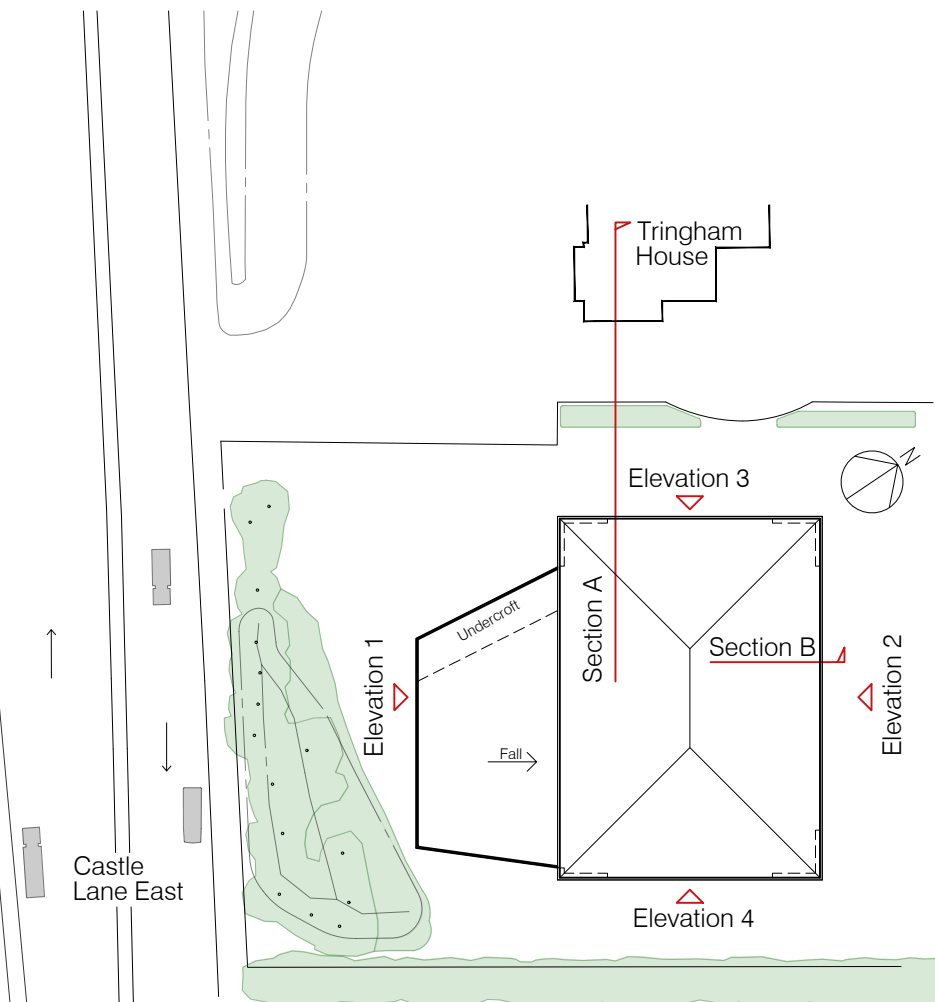
- A - Bi-folding doors with integral glazed panels - Colour: White (RAL 9010)
B - Insulated single ply roof system - Colour: Mid Grey (RAL 7046)
C - Undercroft soffit - Flat interlocking panels - Colour: White (RAL 9010)
D - Glazed smoke louvre system with neutral colour glass / Light Grey spandrel panels

Cladding and Glazing Legend

- 1.0m high x 150mm thick Qbliss One System. Flat modular architectural facade element with expressed joints:
- External facing material - Colourcoat Prisma (metal)
 - Profile - Flat
 - Colours - Orange (RAL 2008) / White (RAL 9010)

- SSG curtain wall system:
- Neutral glass
 - Light Grey spandrel panels

- Brickwork:
- Traditional Brick & Stone Ltd.
Brick type: Mystique
www.traditionalbrickandstone.co.uk/product/mystique



Reference Plan - 1:1000



| | | | |
|--------|-----|----------|-------------------------|
| S2 | P4 | 15/01/20 | Minor hatching update |
| S2 | P3 | 24/12/19 | Boundary fences amended |
| S2 | P2 | 23/12/19 | Cladding design revised |
| S2 | P1 | 17/07/19 | INITIAL ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

Forum Architecture Ltd
Studio 52, Basepoint
Andersons Road
Southampton, Hampshire
SO14 5FE
tel: 023 8068 2085

FORUM
architecture
www.forumarchitecture.co.uk

CLIENT:
Lok'nStore Limited

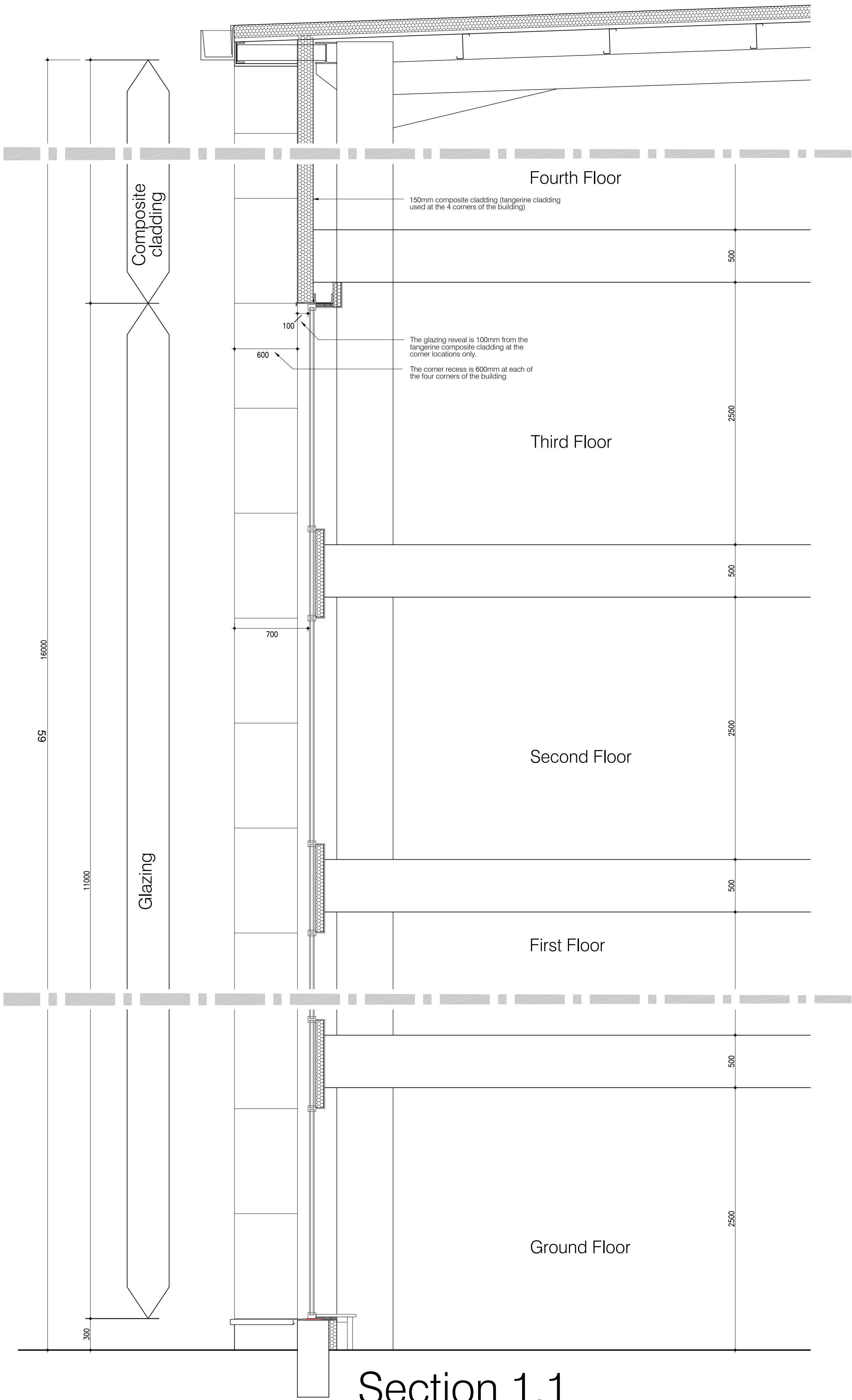
PROJECT
**New Lok'nStore facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
**Proposed Elevations and Section
Sheet 2 of 2**

| | | |
|---|---------------------|-----------------------------------|
| DRAWING STATUS S2: SUITABLE FOR INFORMATION | DWN BY AB | ORIGINATOR No 18019 |
| | CHK BY PM | SCALE 1:200 / 1000 @ A1 |

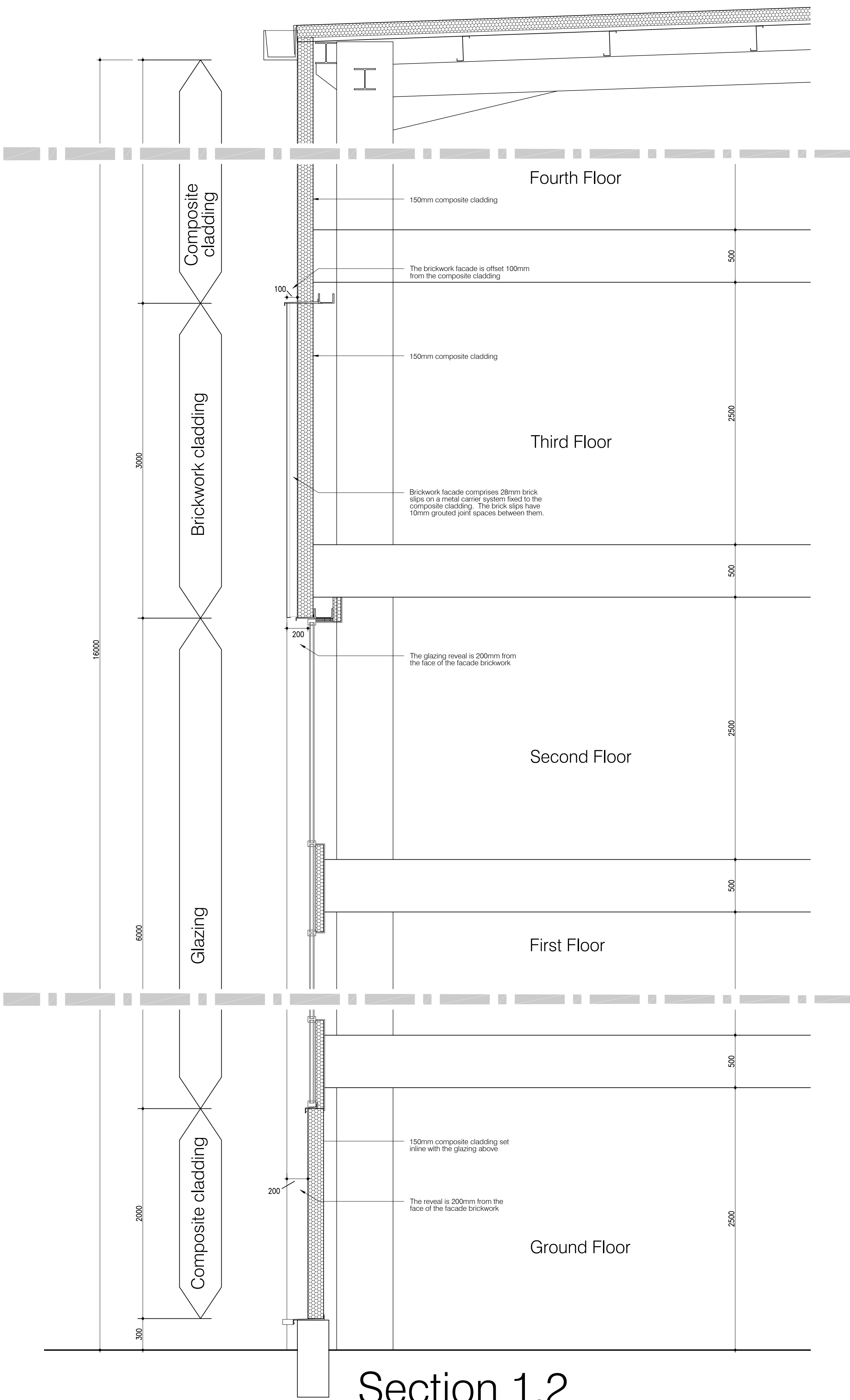
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| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER | REVISION |
| CLE-FORUM-00-ZZ-DR-A-XX-P303 | P4 |

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Section 1.1

Recessed corner detail at 1:25

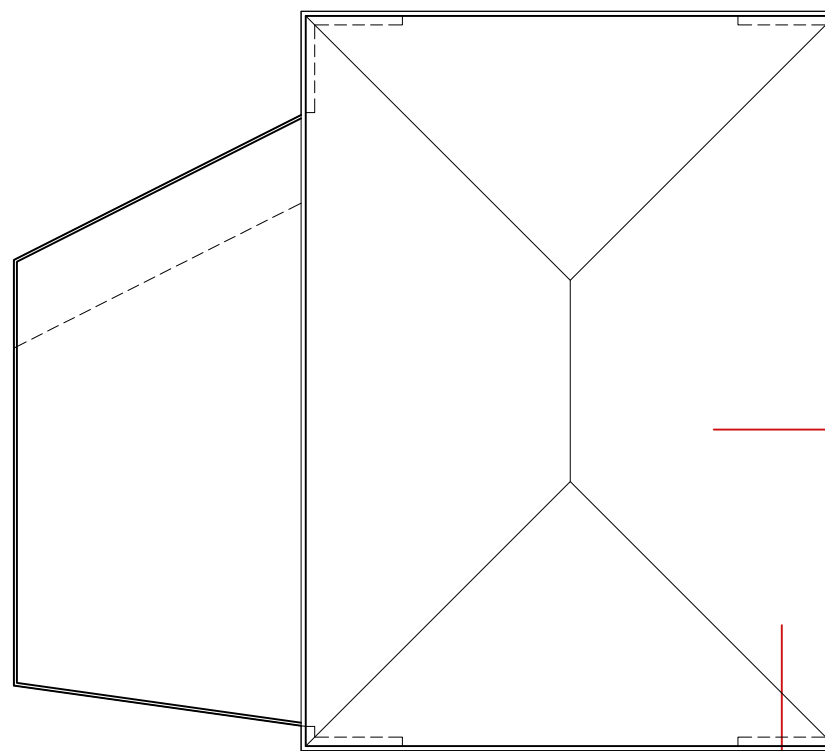
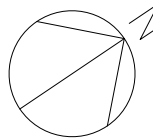


Section 1.2

Fascade glazing and brickwork detail at 1:25

Notes

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Section 1.2

Section 1.1

Reference Plan - 1:500



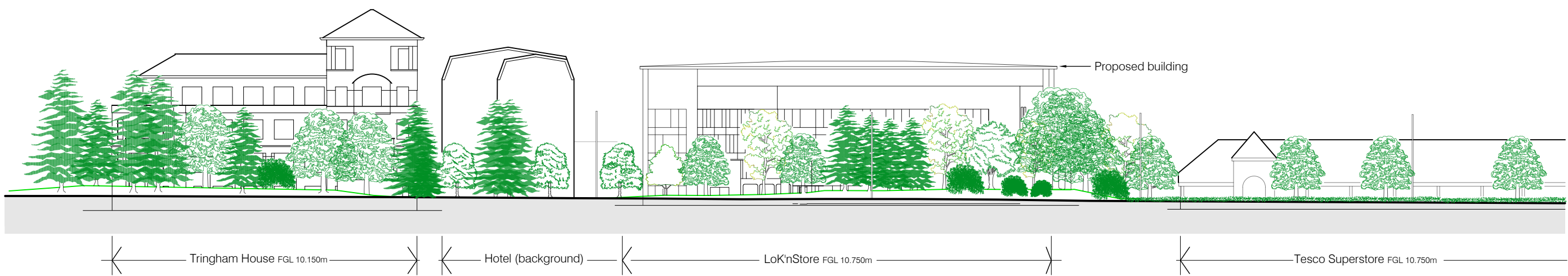
Scale Bar 1:25



Scale Bar 1:500

| | | | |
|---|-----|---------------|---|
| S2 | P1 | 26/06/20 | INITIAL ISSUE |
| STATUS | REV | DATE | DESCRIPTION |
| Forum Architecture Ltd Studio 52, Basepoint Andersons Road Southampton, Hampshire SO14 5FE tel: 023 8068 2085 | | | FORUM architecture www.forumarchitecture.co.uk |
| CLIENT: Lok'nStore Limited | | | |
| PROJECT: New Lok'nStore facility - Land at Wessex Field Castle Lane East, Bournemouth | | | |
| DRAWING TITLE: Sections 1.1 and 1.2 Reveal details and material interfaces | | | |
| DRAWING STATUS: S2: SUITABLE FOR INFORMATION | | DWN BY: TG | ORIGINATOR No: 18019 |
| | | CHK BY: PM | SCALE: 1:25 / 500 @ A1 |
| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER CLE-FORUM-00-ZZ-DR-A-XX-P304 | | | REVISION: P1 |

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Street Elevation - 1:500
Note: Ground level at proposed Lok'nStore site = 10.750m above datum

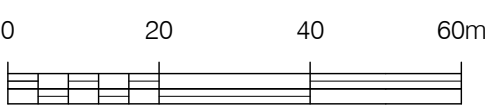


Location Plan - 1:1000

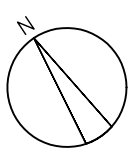
Notes



Scale Bar 1:500



Scale Bar 1:1000



| | | | |
|--------|-----|----------|-------------------|
| S2 | P2 | 16/01/20 | Elevation updated |
| PL | P1 | 17/07/19 | PLANNING ISSUE |
| STATUS | REV | DATE | DESCRIPTION |

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FORUM
architecture
www.forumarchitecture.co.uk

CLIENT
Lok'nStore Limited

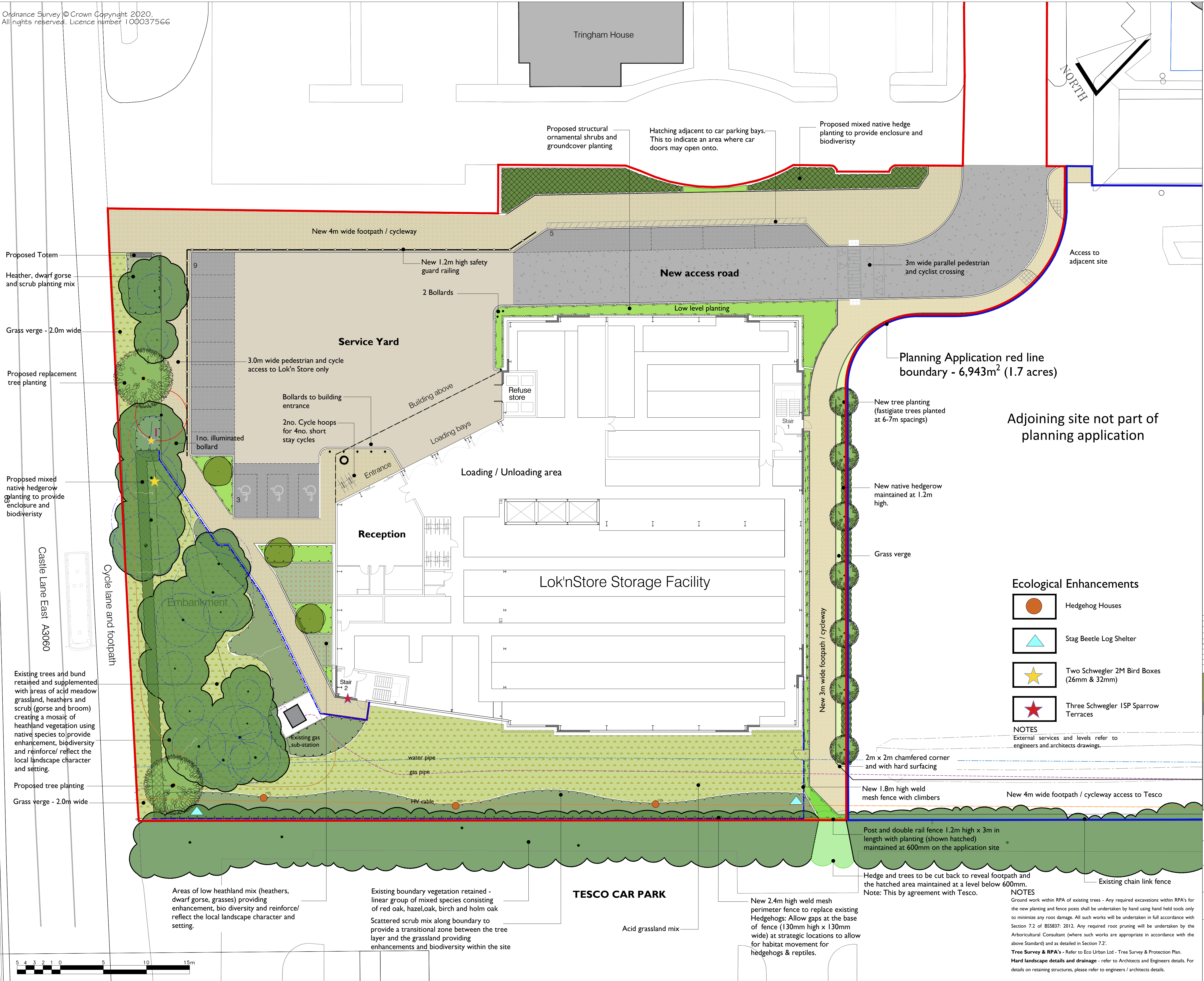
PROJECT
**New Lok'nStore Facility - Land at Wessex Field
Castle Lane East, Bournemouth**

DRAWING TITLE
Street Elevation & Location Plan

| | | |
|---------------------------------------|---------------------|----------------------------------|
| DRAWING STATUS PL: PLANNING | DWN BY JL | ORIGINATOR NO. 18019 |
| | CHK BY TG | SCALE 1:500 / 1000 @A1 |

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| PROJECT ORIGINATOR ZONE LEVEL TYPE ROLE CLASSIFICATION NUMBER CLE-FORUM-00-ZZ-DR-A-XX-P310 | REVISION P2 |
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Discrepancies: Any discrepancy on the drawings shall be referred to the CA immediately.

LEGEND
SOFT LANDSCAPE

- Existing trees retained & protected - refer to Eco Urban Ltd tree report
- Existing tree removed
- Root Protection Area (RPA) - refer to tree report by Eco Urban Ltd
- Proposed tree planting
- Proposed mixed native hedgerow planting
- Existing bund - Proposed mixed heathland vegetation - locally sourced (heather, broom, gorse)
- Proposed ornamental shrub, grasses & groundcover planting
- Proposed grass verge - mown
- Proposed acid grassland mix

HARD LANDSCAPE

- Access access road: Asphalt
- Service yards: Concrete
- Car parking Bays: Block Paving
- Pedestrian Footpaths: Concrete Block Paving
- Tactile Paving Slabs
- New perimeter fence: black wire refer to architects plan
- Planning Application Site Boundary

PLANNING

| | |
|--------------|--|
| I 21-08-2020 | Amendments to new cycleways & planting |
| H 24-06-2020 | Amendments to cycleway & planting |
| G 30-03-2020 | Added ecological elements, amendments to cycleway & planting |
| F 30-12-2019 | Minor amendments to planting areas |
| E 09-12-2019 | Amendments to planting areas |
| D 28-11-2019 | Amendments to site layout |
| C 3-07-2019 | Amendments to site layout |
| B 16-07-2018 | Amendments to existing bund vegetation & text |
| A 16-04-2018 | Minor amendments |

BRADFORD-SMITH
LANDSCAPE ARCHITECT

5 THOROLD ROAD
FARNHAM
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TEL & FAX: 01252 714607
EMAIL: mo@bradfordsmith.co.uk

Project
New Facility at Land at Wessex Field, Castle Lane East, Bournemouth, Dorset, BH7
Client
LOK'N STORE
Drawing Title
LANDSCAPE STRATEGY PLAN
Scale
1:200 @ A1
Date
April 2018
Drawn
MS
Drawing No.
694-LA-P-01
Revision
1

| | |
|--|--|
| <input type="checkbox"/> Preliminary | <input type="checkbox"/> Issued for Design/Information |
| <input checked="" type="checkbox"/> Issued for Planning Approval | <input type="checkbox"/> Issued for Tender |
| <input type="checkbox"/> Issued for Construction | <input type="checkbox"/> As Built |

Ecological Enhancements

- Hedgehog Houses
- Stag Beetle Log Shelter
- Two Schwegler 2M Bird Boxes (26mm & 32mm)
- Three Schwegler ISP Sparrow Terraces

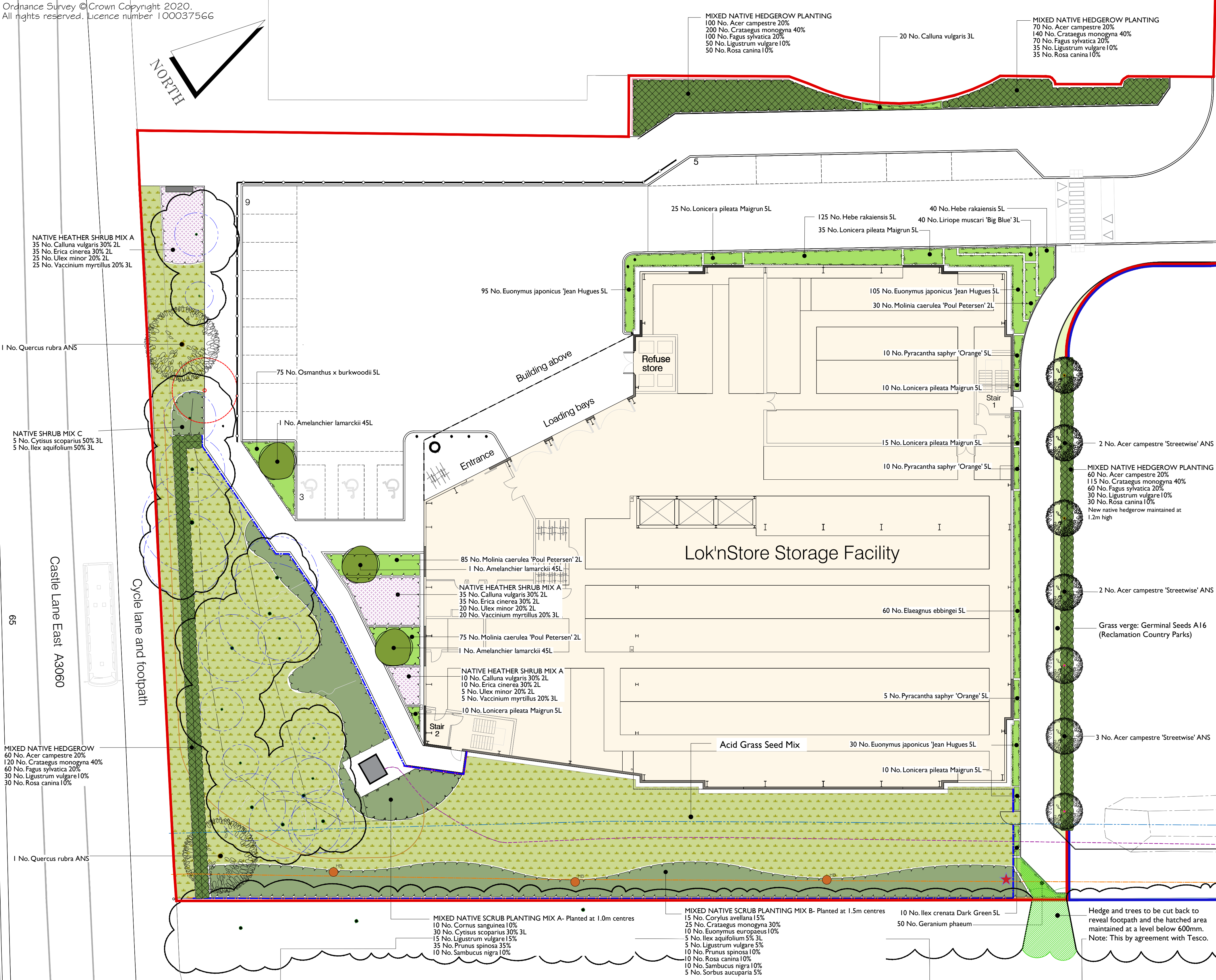
NOTES
External services and levels refer to engineers and architects drawings.

NOTES

Ground work within RPA of existing trees - Any required excavations within RPA's for the new planting and fence posts shall be undertaken by hand using hand held tools only to minimize any root damage. All such works will be undertaken in full accordance with Section 7.2 of BS5837: 2012. Any required root pruning will be undertaken by the Arboricultural Consultant (where such works are appropriate in accordance with the above Standard) and as detailed in Section 7.2.
Tree Survey & RPA's - Refer to Eco Urban Ltd - Tree Survey & Protection Plan.
Hard landscape details and drainage - refer to Architects and Engineers details. For details on retaining structures, please refer to engineers / architects details.

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NORTH



SPECIFICATION NOTES

For Proposed Trees, Hedges & Shrub Planting -
These implementation and maintenance specification notes are for planning purposes only and do not constitute a detailed landscape specification.

SITE PREPARATION

Subsoil
Subsoil for general planting areas: the onsite subsoil and/ or imported subsoil shall be tested and checked to comply with the British Standards recommendations and undertaken by an approved independent laboratory (such as Tim O'Hare Associates or equivalent approved soil scientist).

Provide subsoil as necessary to make up the deficiency on site. Natural or imported subsoil (from and approved source), tested to determine suitability for use for landscape planting areas. Test report submitted for approval and any deficiencies identified to enable ameliorant's recommendations.

Subsoil shall comply with BS 8601:2013 - Specification for subsoil and requirements for use supplied from an approved source.

Imported Topsoil
Imported topsoil shall be to BS 3882: 2015: *Specification for topsoil and requirements for use*, Multi-purpose grade - (Landscape 20) and be of medium texture with a high proportion of loamy material. It shall be free from subsoil, rubbish, roots of perennial weeds (including couch grass) and other injurious to plant growth. Imported topsoil shall be from an approved source and a sample submitted and analyzed/tested at an independent approved laboratory.

Soil Handling: The soils shall be handled in accordance to the Good Practice Guide for Handling Soils. Soil handling shall only take place during the driest parts of the year to prevent compaction of the insitu soils.

All topsoil used for planting shall be tested by an approved Topsoil Analysts and any required amelioration or soil improver required shall be carried out in accordance with

the topsoil Analyst Report.

The topsoil shall be free from harmful trace elements, including phytotoxic and zootoxic elements harmful both to plant growth and man. The topsoil should be tested by physical and chemical analysis and should state clearly the physical characteristics of the soil, levels of micro-nutrients and chemical content. All fertilizers and added nutrients shall be applied by a qualified staff or supervised so the correct application is undertaken. NO imported topsoil to acid grassland areas or beneath existing trees.

Root Protection Area beneath Existing Trees: No new top soiling operations to take place within the RPA - all new planting to be planted into existing soil on site, using hand tools only to minimize root damage. If significant roots are encountered, these will be left undamaged and plants locally adjusted.

Preparation for Topsoil Re-spread
Topsoil shall be spread following completion of all hard landscape building works, following a thorough clearance

and removal of building debris. Bottom of tree pit broken up to a depth of 150-200mm and scarify sides.

Tree pits: min. 1200 x 1200mm x 300-600mm deep (depth dependant on size of rootball). All tree pits to have 150mm aggregate drainage layer (if required).

Hedge and shrub planting areas: minimum 300mm deep;

Backfilling with Topsoil
Tree pits and shrub beds shall be backfilled, in layers, with previously prepared topsoil excavated from the tree pit and imported topsoil as required. Topsoil thoroughly mixed with planting organic compost and slow release fertilizer shall be used to plant all trees, shrubs and hedges. All backfilled levels shall be 25mm above adjacent paving. The shrubs shall be shaken during backfilling to avoid air pockets and the soil must be firmed as the hole is filled. All backfilled material shall include an organic compost and slow release fertilizer.

Cultivation
Topsoil shall be cultivated to a minimum of 400mm deep on planting areas and 150mm deep on grass areas to a medium

tilth, removing all rubbish, vegetation, perennial weeds, roots, stones over 50mm in any one dimension and raked to even levels.

PLANTING

Plant Stock and Timing
Plant material shall conform to BS 3936 Part 1: 1992, Part 2: 1990; Part 9: 1998; Part 10: 1990 and BS4043: 1989 and shall be protected at all times in transit to the site. The planting season shall be from 1st October to the 31st March. Planting shall not be carried out during periods of frost, drought, cold drying winds, or when the soil is waterlogged.

The planting shall be carried out in the first planting season following practical completion of the building and hard landscaping. Planting outside the planting season will require adequate watering to ensure establishment.

Planting
All trees, hedges & shrub planting shall be planted upright at the same depth as the nursery soil level and evenly spaced,

leaving room for growth. Allow at least 300mm clearance between the rootball and the edge of the pit to facilitate staking and to allow adequate amount of backfill around the root ball.

Trees shall be planted upright and at the same depth as the grown nursery soil level with the root collar being at finished soil level, and evenly spaced, leaving room for growth. Allow at least 150-300mm clearance between the rootball and the edge of the pit to facilitate staking and to allow adequate amount of backfill around the rootball.

All new tree planting in accordance with BS8545:2014 *Trees: From Nursery to Independence in the Landscape - Recommendations*. Trees shall be pit planted and supported by either staking or underground guys. Underground guying to be in accordance with the manufacture's recommendations. All multi-stem trees or large shrubs shall be underground guyed. Stakes: two untreated softwood stakes double tree staked with cross bar. Stakes shall be softwood, peeled chestnut or larch, free from projections

| PLANTING SCHEDULE | | | | | | | | | |
|--------------------------------|----------------------------------|---------------|----------------|-----------------------------|-------------------------|-------------------------|------------------|-------------------------|---------|
| TREES | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Counted | |
| 7 | Acer campestre 'Streetwise' | 450-500mm | 16 | 18cm Advanced Nursery Stock | Clear Stem | 175-200 | 30/30 | 188 | Counted |
| Shrubs | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Counted | |
| 20 | Calluna vulgaris | 175-200mm | 16 | Multi-stem C | | | 60m ² | | |
| 60 | Elaeagnus ebbingei | 40-60cm | 16 | Bushy C | | | 60m ² | | |
| 230 | Euonymus japonicus 'Jean Hugues' | 30-40cm | 16 | Bushy C | | | 60m ² | | |
| 195 | Hebe rakensis | 40-60cm | 16 | Bushy C | | | 60m ² | | |
| 19 | Ilex crenata Dark Green | 30-40cm | 16 | Bushy C | | | 60m ² | | |
| 195 | Lonicera pileata Maigrun | 40-60cm | 16 | Bushy C | | | 60m ² | | |
| 75 | Osmanthus x burkwoodii | 40-60cm | 16 | Bushy C | | | 40m ² | | |
| 25 | Prunella spiro | 80-100cm | 16 | Branches C | | | 30m ² | | |
| HERBACEOUS | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Counted | |
| 40 | Erigeron annuus | 10-15cm | 16 | C Full Pot | | | 17m ² | | |
| 50 | Geranium phaeum | 10-15cm | 16 | C Full Pot | | | 17m ² | | |
| GRASSES | | | | | | | | | |
| Number | Species | Pot Size | Specification | Density | Counted | | | | |
| 190 | Molinia caerulea 'Poul Petersen' | 12L | Full Pot C | 60m ² | | | | | |
| HEATHER MIX A | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Counted | |
| 80 | Calluna vulgaris | 20-30cm | 16 | Bushy C | | | 40m ² | | |
| 80 | Erica cinerea | 20-30cm | 16 | Bushy C | | | 40m ² | | |
| 50 | Ulex minor | 20-30cm | 16 | Bushy C | | | 40m ² | | |
| 50 | Vaccinium myrtillus | 20-30cm | 16 | Bushy C | | | 40m ² | | |
| Total - 260 | | | | | | | | | |
| MIXED NATIVE SCRUB MIX A | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Percentage Contribution | |
| 15 | Corylus avellana | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 15% | | |
| 25 | Crataegus monogyna | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 30% | | |
| 15 | Euonymus europaeus | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 15% | | |
| 5 | Ilex aquifolium | 80-100cm | 16 | | | | 15% | | |
| 5 | Ligustrum vulgare | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 15% | | |
| 10 | Prunus spinosa | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 10% | | |
| 10 | Rosa canina | 80-100cm | | Hedge stock | Feathered Whip | BR 1.50m | 10% | | |
| 10 | Sambucus nigra | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 10% | | |
| 10 | Sorbus aucuparia | 100-125cm | | Feathered Whip | BR | 1.50m | 10% | | |
| Total - 95 | | | | | | | | | |
| MIXED NATIVE SCRUB MIX B | | | | | | | | | |
| Number | Species | Height | 10th | Specification | Pot Size | Specification | Density | Percentage Contribution | |
| 10 | Cornus sanguinea | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 10% | | |
| 10 | Cytisus scoparius | 80-100cm | 16 | Bushy C | | | 10% | | |
| 15 | Ligustrum vulgare | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 15% | | |
| 35 | Prunus spinosa | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 35% | | |
| 10 | Sambucus nigra | 100-125cm | | Hedge stock | Feathered Whip | BR 1.50m | 10% | | |
| Total - 100 | | | | | | | | | |
| MIXED NATIVE SCRUB MIX C | | | | | | | | | |
| Number | Species | Specification | Height | Pot Size | Density | Percentage Contribution | | | |
| 5 | Cytisus scoparius | Bushy C | 80-100cm | 16 | 60% | | | | |
| 5 | Ilex aquifolium | Hedge stock | Bushy C | 80-100cm | 16 | 50% | | | |
| Total - 10 | | | | | | | | | |
| MIXED NATIVE HEDGEROW | | | | | | | | | |
| Number | Species | Specification | Height | Density | Percentage Contribution | | | | |
| 75 | Acer campestre | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| 120 | Acer campestre | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 40% | | | |
| 140 | Crataegus monogyna | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 40% | | | |
| 140 | Crataegus monogyna | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 40% | | | |
| 75 | Fagus sylvatica | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| 120 | Fagus sylvatica | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 40% | | | |
| 35 | Ligustrum vulgare | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 10% | | | |
| 35 | Ligustrum vulgare | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 10% | | | |
| 35 | Rosa canina | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 10% | | | |
| 60 | Rosa canina | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| Total - 945 | | | | | | | | | |
| MIXED NATIVE HEDGEROW PLANTING | | | | | | | | | |
| Number | Species | Specification | Height | Density | Weight | Percentage Contribution | | | |
| 100 | Acer campestre | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| 200 | Crataegus monogyna | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 40% | | | |
| 100 | Fagus sylvatica | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| 100 | Ligustrum vulgare | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 20% | | | |
| 50 | Rosa canina | Hedge stock | Feathered Whip | BR 100-120cm | 350/2 | 10% | | | |
| Total - 550 | | | | | | | | | |

Specification Notes continued

and large knots, with one end pointed. Overall length of stakes should be a minimum 1800mm and 100mm diameter. Drive stakes vertically at least 300mm into bottom of the pit either side of rootball. Cross bar - 100 x 38mm secured to stakes using galvanised nails. Stakes above ground level - approximately one third of clear stem height - 750mm above ground level. Each stake secured to cross bar using galvanised nails. Tree secured to cross bar with rubber tree tie and tree cushion spacer/pad, fixed to support the tree. All fixing nails shall be galvanised annular ring.

Immediately following planting, all plants shall be watered-in to field capacity. Provide a 500mm radius circle, mulched around the base of each new tree and kept weed free.

Root barriers: trees planted adjacent to kerbs; soakways and underground services - install linear Re-root 600 barriers supplied by Green Blue Urban, or similar approved in accordance with manufacturer's instructions.

Underground Services: All pipe work shall be protected with Terram Root Guard or similar approved in the vicinity of trees.

Hedge planting: hedge planting shall be planted in double staggered rows [locations as indicated on the drawing]. Native hedgerows: install post & wire fence 1.2m high within centre of hedgerow.

MULCH
Mulching: Prior to the application of mulch, the planting areas shall be completely weed free and watered sufficiently to achieve field capacity. The surface of the planting areas shall be mulched with a layer of fine composted bark mulch supplied by AHS Ltd - Fine Composted Bark - composted for 2-4 weeks with a particle size of 0-8mm, to a depth of 75mm, ensuring that the low branches of shrubs and herbaceous plants are not smothered. Supplied by AHS Ltd or similar approved. The mulch shall be topped-up to maintain, after settlement, a depth of not less than 50mm.

ACID GRASSLAND AREAS
A subsoil analysis shall be undertaken to determine the species mix for all the acid grasslands areas prior to determine the species mix. Areas beneath the existing trees may require replacing some of the mulch-enriched surface layer with a more nutrient-poor subsoil from the development area ensuring that the root protection areas are not compromised or affected. All works within RPA shall be supervised by a qualified arborist.

Aftercare: During the first year remove any weeds which grow before they run to seed, either by topping, mowing or by hand for smaller areas. Cut once the flowers have died back in the autumn, leaving the area undisturbed for as long as possible, ideally until February / March (before the first spring growth). The dead flowers and stems provide a diverse environment which is a haven for wildlife through the winter months. Cut the area down to around 10cm using a scythe, strimmer or mower, leaving the cuttings for up to a week before removing of site to enable the wildflowers to dry and shed seeds back into the soil.

IMPLEMENTATION
All tree, hedges and shrub planting areas areas shall be carried out in the first planting season after all the building works and the hard landscaping areas have been set out and completed.

AFTER CARE PERIOD
Maintenance The Aftercare Period shall extend for a five period. During the Aftercare Period maintenance visits shall be carried out, at least monthly from April to September and twice during the dormant season to carry out the following operations to establish healthy growing plants in weed free areas. Maintenance operations shall include: watering, firming-up, pest and disease control, general pruning, weed control, top up mulch and autumn tidying.

Replacement Planting
All plants, which have died, are missing or have failed to thrive, shall be noted and replaced with the same size and species as originally planted, in the following planting season.

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Utilities/Highways/Environment: It is the responsibility of the client or their contractor to liaise with Utility Providers, Highways Authority's and Environment Agency and to ensure that all approvals are in place. It is the responsibility of the contractor to locate all underground services prior to construction.

Drawings: All drawings and levels to be checked on site prior to the construction works commencing on site. All drawings shall be read in conjunction with relevant landscape specifications.

Discrepancies: Any discrepancy on the drawings shall be referred to the CA immediately.

LEGEND

SOFT LANDSCAPE

- Existing trees retained & protected - refer to Eco Urban Ltd tree report
- Existing tree removed
- Root Protection Area (RPA) - refer to tree report by Eco Urban Ltd
- Proposed tree planting
- Proposed mixed native hedgerow planting
- Proposed mixed native scrub planting
- Proposed ornamental shrub & groundcover planting
- Proposed heather mixes
- Proposed acid grassland seed mix - seed mix species tbc with ecologist & once detailed soil testing undertaken
- Proposed grass areas - mown
- Germinall Seeds A16
- Planning Application Site Boundary

NOTES

Ground work within RPA of existing trees - Any required excavations within RPA's for the new planting and fence posts shall be undertaken by hand using hand held tools only to minimize any root damage. All such works will be undertaken in full accordance with Section 7.2 of BS5837: 2012. Any required root pruning will be undertaken by the Arboricultural Consultant (where such works are appropriate in accordance with the above Standard) and as detailed in Section 7.2.

Tree Survey & RPA's - Refer to Eco Urban Ltd - Tree Survey & Protection Plan.

Hard landscape details and drainage - refer to Architects and Engineers details. For details on retaining structures, please refer to engineers / architects details.

PLANNING

| | | |
|-----------|------------|--|
| D | 21-08-2020 | Amendments to new cycleways & planting areas |
| C | 24-06-2020 | Amendments to cycleway & planting areas |
| B | 30-03-2020 | Amendments to cycleway & planting areas |
| A | 07-01-2020 | Minor amendments to planting areas |
| Date | | Name |
| Revisions | | |

BRADFORD-SMITH

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| | | | |
|--|--|-------------|--|
| Project New Facility at Land at Wessex Field, Castle Lane East, Bournemouth, Dorset, BH7 | | | |
| Client LOK'N STORE | | | |
| Drawing Title DETAILED PLANTING PLAN & SCHEDULE | | | |
| Scale 1:200 @ A1 | Date December 2019 | Drawn MS | |
| Drawing No. 94-LA-P-02 | Revision D | | |
| <div><div><input type="checkbox"/> Preliminary</div></div> | | | <input type="checkbox"/> Issued for Design Information |
| <input checked="" type="checkbox"/> Issued for Planning Approval | <input type="checkbox"/> Issued for Tender | | |
| <input type="checkbox"/> Issued for Construction | <input type="checkbox"/> As Built | | |

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Planning Committee

| | |
|---|--|
| Application Address | 51-55 Commercial Road, Poole, BH14 0JB |
| Proposal | Demolition of the existing buildings and erection of a 3 storey building containing 14 flats with associated access, car parking, refuse and cycle storage. |
| Application Number | APP/20/01047/F |
| Applicant | Amirez Ltd |
| Agent | Pure Town Planning |
| Date Application Valid | 18 September, 2020 |
| Decision Due Time | 18 December, 2020 |
| Extension of Time date (if applicable) | |
| Ward | Parkstone |
| Recommendation | Grant Subject TO CIL Contribution |
| Reason for Referral to Planning Committee | This application is brought before committee at the request of Cllr Mrs Stribley because of concerns about overdevelopment; overlooking; shortage of parking; and being unneighbourly. |
| Case Officer | James Gilfillan |

Description of Development

1. Planning consent is sought for Demolition of the existing buildings and erection of a 3-storey building containing 14 flats with associated access, car parking, refuse and cycle storage.

Key Issues

2. The main considerations involved with this application are:
 - The principle of the development
 - Relationship to heritage assets, character and appearance
 - Parking, access and highway safety
3. These points will be discussed as well as other material considerations below.

Planning Policies

4. National Planning Policy Framework (February 2019)

5. Poole Local Plan (Adopted 2018)

- PP01 Presumption in favour of sustainable development
- PP02 Amount and broad location of development
- PP07 Facilitating a step change in housing delivery
- PP08 Type and mix of housing
- PP11 Affordable housing
- PP12 Housing for an ageing population
- PP27 Design
- PP28 Flats and plot severance
- PP30 Heritage Assets
- PP32 Poole's important sites
- PP33 Biodiversity and geodiversity
- PP34 Transport strategy
- PP35 A safe, connected and accessible transport network
- PP37 Building sustainable homes and businesses
- PP39 Delivering Poole's infrastructure

6. Supplementary Planning Document

- SPD1 Parking & Highway Layout in Development
- SPD2 Heritage Assets
- SPD3 Dorset Heathlands Planning Framework (2020-2025)
- SPD4 Affordable Housing SPD (Adopted November 2011)
- SPD5 Poole Harbour Recreation SPD (2019-2024)
- SPD6 Nitrogen Reduction in Poole Harbour (Adopted Feb 2017)
- Ashley Cross Conservation Area Character Appraisal

Relevant Planning Applications and Appeals:

- 7. None directly relevant. Historical applications for the erection and use as a tyre depot, associated signage and retail use adjoining.

Representations

- 8. Letters of representation have been received from 13 addresses in which the following concerns are raised
 - The height of the development, inappropriate design
 - The number of flats
 - Lack of parking, impact on highway safety and congestion
 - Impact on heritage assets
 - Loss of privacy and amenity
 - Harm to wildlife
 - Waste nuisance
 - Impact on local services
- 9. One letter supports the scheme for delivering an attractive development that can rely on good transport links and services nearby, as well as supporting those businesses.

Consultations

10. BCP Highway Authority. Supports the highway safety gains from the closure of the commercial access from Commercial Road and accepts that surrounding roads could accommodate the volumes of traffic generated by the development. Object to the lack of parking. Concludes that the benefits for highway safety arising from the closure of the existing access would not outweigh any harm arising from the shortfall of 4 parking spaces.
11. BCP Environmental Services. Sufficient bin storage is provided but objects to the location of the store more than 10m from the adopted highway. Requests that a contaminated land survey condition is imposed due to the potential of the existing use to have contaminated the ground under the site.
12. BCP Lead Local Flood Risk Authority. Insufficient detail provided, but a scheme could be designed and would be needed to avoid contributing to surface water flood issues locally.

Constraints

13. The site is in the Ashley Cross Conservation Area.

Planning assessment

Site and Surroundings

14. The site is on the north side of Commercial Road, adjacent to Chapel Road, in Ashley Cross. It is at the western corner of the Ashley Cross Conservation Area and is occupied by a single-storey commercial unit covering much of the plot and a 2-storey retail unit in a converted house.
15. The area has a mixed character, with commercial and community uses interspersed with residential properties along Commercial Road, between the Civic Centre to the west and Ashley Cross local centre to the east. As such there is a variety of age of buildings and styles. Chapel Road extending to the north is residential dominated by terraced houses.
16. Commercial Road is a Primary Distributor Road (A35). Chapel Road does not have a junction with Commercial Road, but there is a pedestrian link. Access to both roads from the site of the tyre garage is currently possible, without restriction or barrier. There is space for a single vehicle to park on the forecourt of the retail unit at no.55, but no on site turning.
17. The Church and converted offices at 16 Commercial Road, opposite the site, are identified as heritage assets by the list of locally significant buildings. 45 Commercial Road to the west is statutory listed building (grade II).

18. The site includes a narrow strip of land extending north along the rear of the Chapel Road properties. The land is heavily overgrown and covered in trees. These trees are not subject to any TPO but are protected by being within the Conservation Area.
19. Ground levels rise up to the site from Commercial Road, with the finished floor levels of the buildings elevated above the adjacent pavement by over 1m.

Key issues

20. The scheme proposes to demolish the existing buildings and erect a 3-storey block of 14 1-bed flats, with the top floor largely within the roof space. Both accesses from Commercial Road would be closed and the site would take vehicle access solely from Chapel Road. Eight parking spaces would be provided. Bike and bin stores would be provided within the building.

Principles

21. The site is within a sustainable transport corridor, where additional residential development is supported. It is outside the 400m zones around protected Dorset Heathlands and beyond tidal flood zones. The principle of additional residential development is therefore acceptable.
22. The existing uses have minor economic benefits, however their loss from this site, which is not within any identified commercial centre or industrial estate, would not be resisted and wider strategies in respect of commercial/retail centres and employment areas would not be harmed.
23. The proposed 1-bed flats would all be above the national minimum space standards. This proposal therefore represent an opportunity to deliver small 'starter' homes, in a sustainable location close to a wide variety of services, infrastructure, jobs and public transport opportunities, including public open space and a vibrant night time economy.
24. The scheme would have economic benefits during construction; would result in the loss of on site employment; but would introduce new footfall and spend in local retail and commercial premises. It would have social benefits arising from the provision of 14 residential units at the lower-cost end of the local housing market. It would in addition have the environmental benefits of delivering 14 residential units on a brownfield site within the urban area.

Character, design and heritage.

25. The site falls within the Ashley Cross Conservation Area which is dominated by the architecture of historic buildings and pattern of roads surrounding Ashley Cross Green.
26. The existing buildings extend across the majority of the site, up to the boundary with No.2 Chapel Road. The buildings occupied by the tyre garage are mainly single-storey and flat roofed have very little architectural merit. The 2-storey building occupied by the separate retail unit is more typical of the style of architecture and detailing prevalent throughout the area, but is dominated by the less sympathetic ground floor shop front and the dominance of the adjoining unit.
27. The existing buildings are identified as a 'tradeable' feature of the Conservation Area. As such, demolition of the existing buildings would preserve the significance of the conservation area.
28. The 3-storey building would be positioned towards the front of the site, in part closer to the street frontage than the existing buildings. Its design, and articulation would introduce a strong and attractive frontage to the road, delivering a style of architecture and incorporating design features such as bay windows; barge boards; eaves detailing; chimneys; and roof pitches that would positively contribute to the character and appearance of the conservation area.
29. The scheme includes an entrance to the building on the front elevation, which combined with the internal layout, would form an active frontage to Commercial Road and a high degree of passive surveillance of the street, compared to the existing uses.
30. Being taller and in part, closer to the front of the site than the existing buildings, the proposed scheme would be more dominant in the streetscene than is characteristic at this point of the conservation area and street. That minor negative aspect of the design is outweighed by the positive engagement arising from the appearance of the front elevation and the introduction of a boundary enclosure along the frontage, better defining the site.
31. Due to the position of the site, in respect of Chapel Road and 49 Commercial Road, the side elevation of the building would also be highly visible in views from the west. The scale of that part of the building would not be an intrusive or dominant addition to the streetscene and would include windows and a chimney as attractive complementary features.
32. The larger scale and depth of the east wing would be largely screened from the streetscene by the adjoining landscape and would not be demonstrably different from the existing building.

33. The design of the rear elevation is less detailed, which is appropriate and acceptable. The quality of the design and proportions of the front elevation are not undermined by the plan depth, which is proportionate and respects the character of the conservation area and context.
34. Whilst the plot coverage by buildings into the rear of the site would be reduced, they would be largely replaced by car parking. The Chapel Road streetscene would not appear markedly different to the existing apron of hard surface, but the proposals would allow some landscape setting and views across the site to the landscaping at the rear.
35. The design and layout of the building would enhance the character and appearance of the streetscene and the wider area. By replacing a tradeable feature it would preserve and enhance the character and appearance of the Ashley Cross Conservation Area and better reveal its significance as a heritage asset. The setting of listed and locally listed buildings near the site would be preserved.

Transportation

36. The site currently has two access points from Commercial Road and also access from Chapel Road. There is on-site car parking for customers associated with the tyre garage, but no clear hierarchy to the access and egress. Nor are there any physical measures preventing rat-running across the site between Commercial Road and Chapel Road. There is negligible 'pavement' around the Chapel Road turning head and no raised kerb or barrier to limit vehicle manoeuvring on and off the tyre garage site. Subject to parked cars, the access from Commercial Road is unlikely to accommodate cars exiting and entering simultaneously.
37. On site parking for the retail unit is directly from the road and requires reversing manoeuvres across the footway of Commercial Road. It does not provide a safe location for servicing the retail unit.
38. There is a light controlled pedestrian crossing on Commercial Road immediately in front of the site, between the two accesses.
39. The Transportation Officer has recognised the highway benefits of the closure of these accesses on the safety of users of Commercial Road, including pedestrians and cyclists. Furthermore taking access from the lower category road is advocated by the adopted parking SPD. The proposals would reduce manoeuvring across Commercial Road; remove the complication caused by the servicing of the commercial premises; and the potential conflict between vehicles entering and exiting the tyre garage. It would also improve the pedestrian environment at the end of Chapel

Road where there is a pedestrian crossing, indicating an established desire line, and also attracting other pedestrians.

40. The Transportation Officer does recognise that the scheme would not generate a high volume of vehicle movements and Chapel Road can accommodate such movements safely, despite the parking bays along one side reducing the carriageway to single vehicle width at some points
41. The scheme provides 8 parking spaces for 14 flats. At 1 bed each (2 habitable rooms), based on the 2011 adopted parking standards for 3 habitable roomed dwellings, the unallocated parking requirement would be 11.2 spaces. As such there is a 3-4 space shortfall.
42. Secure cycle storage is proposed for 14 bicycles, within the building. Electric vehicle charging points would be installed at 5 of the parking spaces. Car clubs vehicles are already available the nearby Civic Centre and are proposed to be available at the nearby scheme under construction at 1-3 Commercial Road.
43. The Transportation Officer and written representations received have objected to the shortfall of parking spaces, indicating that the 2011 adopted parking standards already accommodate the sustainability of the location and the shortfall would result in cars being crammed on site, compromising pedestrian safety on site or in residents trawling the local roads looking for alternative parking, compromising public amenity and highway safety.
44. An adequately sized bin store is included within the building. This is more than 10m from the public highway, the distance preferred by the local Waste Collection Authority, but within the 20m advocated by the building regulations
45. In this case the benefits of the proposed improvements to highway and pedestrian safety arising from the closure of the existing accesses and the lack of on site parking for staff associated with the existing commercial uses can be set against any potential harm arising from the shortfall in car parking. Taken together with the other identified benefits associated with delivering new housing in a highly sustainable location within a sustainable transport corridors these benefits would outweigh that harm. This scheme delivers positively in respect of PP34 a), d) and e)

Amenity.

46. The majority of flats would have south facing outlook. The two rear flats, units 5 and 10 have outlook on three elevations to provide light and outlook. The finished floor level of the ground floor would be elevated

above the pavement at the front of the site, providing an outlook for residents over pedestrians and vehicles and preserving privacy.

47. The communal halls, stairs and landings would extend across much of the rear elevation, minimising residential activity and views out. Five flats would have views at the rear towards 2 Chapel Road. The three in the west wing would be over 16m away from the rear garden, preventing any significant loss of privacy. The two in the east wing would be closer at 12m, but have their lower panes obscure glazed to minimise the range of downward views, without compromising the amenity of occupiers. East facing windows in first floor units 5 and 6 would have views towards the garden of 9 Buckholme Close. The window to unit 6 is equally treated with the lower half obscure glazed and that to unit 5 would look at the side elevation of the neighbour in similar position to a window in the existing building, facing a sole bathroom window in that side elevation.
48. There would be little on-site amenity space, however the 1-bed size of the flats should preclude family occupation and adequate outdoor amenity space to meet the recreational needs of likely occupiers is available in close proximity to the site in Poole Park. All of the flats exceed the national minimum space standards and would have good daylight; sunlight; and outlook to achieve adequate internal amenity to meet their reasonable needs.
49. The potential harm to the amenity of neighbours is minor and has to be balanced against the loss of the existing buildings and uses. Whilst single storey, the tyre garage extends right on to the boundary with 2 Chapel Road, for the full length of their garden. Furthermore the existing use has high potential to cause noise and nuisance, due to the nature of the operation of fitting tyres; air compressors; pneumatic tools; and the running of engines during MOT testing, as well as deliveries and manoeuvring vehicles in and out of the workshop and site, including on Saturday.

Trees and ecology.

50. Due to the extent of the existing plot coverage there are no landscape features of significance. The part of the site extending to the north, to the rear of Chapel Road properties, is covered by trees, protected due to being in the conservation area. Only the trees at the southern end of that land, adjacent to the building, have been considered by an arboricultural survey, which considers them low quality and not a constraint to development. A more detailed survey was not undertaken due to the density of undergrowth compromising access.
51. Whilst the proposed building would have no impact on any of those trees, it may prove difficult to demolish the existing building without removing

those trees. Furthermore their removal is advocated to provide parking spaces and surface water drainage soakaways. Ultimately their loss would not be resisted due to their poor quality and the presence of more trees to the north.

52. There is a tree on the adjoining site, 9 Buckholme Close, also protected by reason of being in the Conservation Area. The proposed building is no closer to the tree than the existing, and the boundary treatment would protect it from accidental damage during construction.
53. The layout of the site would give an opportunity for new tree planting close to the access to improve the landscape quality of an area dominated by hard surfaces at present.
54. The site does not accommodate any high value or protected habitats supporting protected species. The area to the north is likely to be attractive to a variety of species due to its extent of enclosure, limiting disturbance by humans. That would remain largely as existing. Features such as bird and bat boxes could be installed in the building and secured by condition.
55. There would be no loss of significant landscape or habitat features as a result of the development and opportunities for enhancement are available.

Sustainability.

56. The location of the site in the sustainable transport corridor, with public transport nearby and a wide variety of services, facilities, employment, leisure and recreation close by as well as the restricted car parking, significantly limits the need to rely on the private car for many day to day journeys, reducing the carbon footprint of the development, as well as reducing emissions contributing to poor air quality in the area.
57. Being a new build it would be readily able to deliver an energy efficient and sustainable development in accordance with the building regulations. In accordance with PP37 a condition could be used to ensure at least 20% of the schemes energy needs is delivered by on site renewable sources of energy.
58. Sustainable drainage is advocated and indicated by the supporting plans, however the scheme is short in terms of technical details. However a condition could be used to ensure the drainage strategy is fit for the scale of the development and ground conditions. The existing heavily hard surfaced site is highly likely to be contributing to surface water flooding to the east of the site. Such negative contribution would be reduced with new drainage infrastructure.

59. Due to the nature of the existing use, it is likely it has polluted the existing ground. A condition is merited to ensure any contamination is identified and dealt with appropriately.

Affordable Housing.

60. At more than 11 units, the scheme qualifies for assessment of its viability to deliver affordable housing. A financial appraisal has been assessed on behalf of the Council, by the District Valuation Services. Their advice is that the scheme is not sufficiently viable to make a contribution towards affordable housing, either on site or a financial contribution.

61. In accordance with Policy PP12 the scheme also needs to provide, 20% of its flats as compatible with Part M4(2) of the Building Regulations. A condition securing 3 flats being constructed to this standard should be imposed.

Section 106 Agreement/CIL compliance

| Contributions Required | | | Dorset Heathland SAMM | Poole Harbour Recreation SAMM |
|------------------------|--------------|----|----------------------------|-------------------------------|
| Flats | Existing | 0 | @ £269 | @ £96 |
| | Proposed | 14 | | |
| | Net increase | 14 | £3,766 | £1,344 |
| Total Contributions | | | £3,766 (plus admin fee) | £1,344 (plus admin fee) |
| CIL | Zone C | | @ £115sq m | |

62. Mitigation of the impact of the proposed development on recreational facilities; Dorset Heathlands and Poole Harbour Special Protection Areas;

and strategic transport infrastructure is provided for by the Community Infrastructure Levy (CIL) Charging Schedule adopted by the Council in February 2019. In accordance with CIL Regulation 28 (1) this confirms that dwellings are CIL liable development and are required to pay CIL in accordance with the rates set out in the Council's Charging Schedule.

63. The site is within 5km (but not within 400m) of Heathland SSSI and the proposed net increase in dwellings would not be acceptable without appropriate mitigation of their impact upon the Heathland. As part of the Dorset Heathland Planning Framework a contribution is required from all qualifying residential development to fund Strategic Access Management and Monitoring (SAMM) in respect of the internationally important Dorset Heathlands. This proposal requires such a contribution, without which it would not satisfy the appropriate assessment required by the Habitat Regulations

64. In addition, the proposed net increase in dwellings would not be acceptable without appropriate mitigation of their recreational impact upon the Poole Harbour SPA and Ramsar site. A contribution is required from all qualifying residential development in Poole to fund Strategic Access Management and Monitoring (SAMM) in respect of the internationally important Poole Harbour. This proposal requires such a contribution, without which it would not satisfy the appropriate assessment required by the Habitat Regulations.

65. The applicant has submitted a Section 111 form and paid the relevant contributions towards Dorset Heathlands and Poole Harbour Recreation SAMM.

66 Summary

- The principle of residential development is acceptable.
- The character and appearance of the site, streetscene and area would be enhanced
- The character and appearance of the Conservation Area would be enhanced and the setting of listed and locally listed buildings preserved.
- Existing vehicle accesses from Commercial Road would be closed
- There would be a 4 space shortfall in on site parking
- Residential amenity and privacy of neighbours and occupiers would be preserved.
- Important protected heathland and harbour habitats and species would be protected
- The scheme could not provide a contribution towards affordable housing.

Planning balance

66. The scheme delivers residential accommodation in the sustainable transport corridor that can support and take advantage of local services,

facilities, public transport and infrastructure. By replacing a tradeable feature, the design of the proposed building would enhance the character and appearance of the conservation area. Concerns regarding the shortfall of parking would be outweighed by the benefits for highway safety from the closure of the existing accesses and closure of the commercial activities, especially given the 1-bed size of the flats proposed. Any perceived overlooking from the proposed flats would be outweighed by the benefits of the loss of disturbance and nuisance caused by the existing tyre garage.

67. The scheme would have minor economic benefits, environmental benefits and minor social benefits, delivering sustainable development.

RECOMMENDATION

68. It is therefore recommended that this application be Granted Subject to the following conditions

Conditions:

1. GN150 (Time Expiry 3 Years (Standard))

The development to which this permission relates shall be begun not later than the expiration of three years beginning with the date of this permission.

Reason -

This condition is required to be imposed by the provisions of Section 91 of the Town and Country Planning Act 1990 and amended by Section 51(1) of the Planning and Compulsory Purchase Act 2004.

2. PL01 (Plans Listing)

The development hereby permitted shall be carried out in accordance with the following approved plans:

Site, block, location plans and streetscene plans ref:9363/100 rev G rec'd 30/11/20

Proposed Floor Plans ref:9636/101 rev E rec'd 27/11/20

Proposed Elevations ref:9363/102 rev F rec'd 30/11/20

Proposed Section A-A ref:9636/106 rec'd 27/11/20

Reason -

For the avoidance of doubt and in the interests of proper planning.

3. GN030 (Sample of Materials)

Details and samples of all external facing materials, roofing, windows, doors and rainwater goods, barge boards to be used shall be submitted to, and approved in writing by, the Local Planning Authority before their use on-site. The development shall thereafter be carried out in accordance with the

approved details.

Reason -

To ensure that the external appearance of the building is satisfactory and in accordance with Policy PP27 & PP30 of the Poole Local Plan 2018.

4. GN090 (Obscure Glazing of Window(s))

Both in the first instance and upon all subsequent occasions, the windows shown on the approved plans to be obscure glazed, shall be glazed with obscure glass in a form sufficient to prevent external views and shall either be a fixed light or hung in such a way as to prevent the effect of obscure glazing being negated by reason of opening. For the avoidance of doubt this shall apply to the bottom half of those windows only.

Reason -

To protect the amenity and privacy of the adjoining properties and in accordance with Policy PP27 of the Poole Local Plan 2018.

5. GN120 (Storage of Refuse)

The bin store shown on the approved plans shall be implemented prior to the first occupation and thereafter retained.

Reason -

In the interests of amenity and to ensure that no obstruction is caused on the adjoining highway and in accordance with Policy PP27 & PP35 of the Poole Local Plan 2018.

6. HW100 (Parking/Turning Provision)

The development hereby permitted shall not be brought into use until the access, turning space, vehicle parking and cycle parking shown on the approved plan have been constructed, and these shall thereafter be retained and kept available for those purposes at all times.

Reason -

In the interests of highway safety and in accordance with Policies PP27, PP34 & PP35 of the Poole Local Plan (2018).

7. HW060 (Close Other Accesses by Physical Works)

A scheme to close the existing accesses which are to be made redundant shall be submitted to and approved in writing with the Local Planning Authority. The scheme shall include provision to raise the existing lowered kerbs, and reinstate the footway to the existing access and shall comply with the standards adopted by the Local Highway Authority. All works shall be completed in accordance with the approved scheme prior to first occupation of the development.

Reason-

In the interests of highway safety in accordance with PP35 of the Poole Local Plan 2018.

8. HW200 (Provision of Visibility Splays)

Before the development hereby permitted is brought into use and notwithstanding the provisions of the Town and Country Planning (General Permitted Development) Order 2015 or any subsequent re-enactment thereof, as indicated on the approved plan shall be cleared of all obstructions over 0.6 metres above the level of the adjoining highway, including the reduction in level of the land if necessary, and nothing over that height shall be permitted to remain, be placed, built, planted or grown on the land so designated at any time.

Reason -

In the interests of highway safety and in accordance with the approved plans and Policies PP34, PP35 and PP36 of the Poole Local Plan (November 2018).

9. HW230 (Permeable surfacing condition)

All ground hard surfaces shall either be made of porous materials, or provision shall be made to direct run-off water from the hard surface to a permeable or porous area or surface within the site. The hard surface shall thereafter be retained as such.

Reason:

In the interests of delivering development which does not result in unacceptable levels of run-off and in accordance with Policy PP38 of the Poole Local Plan (November 2018).

10. DR040 (Sustainable Urban Drainage)

Prior to the commencement of construction, a scheme for the provision of sustainable urban drainage, including calculations of capacity and details of the maintenance strategy shall be submitted to, and approved in writing by, the Local Planning Authority. The drainage works shall be implemented in accordance with the approved scheme and thereafter retained.

Reason -

To prevent the increased risk of localised surface water flooding by ensuring the provision of a satisfactory means of surface water disposal and in accordance with PP38 of the Poole Local Plan 2018.

11. LS020 (Landscaping Scheme to be Submitted)

Prior to the construction of the development hereby approved proposals for the hard and soft landscaping of the site shall be submitted to, and approved in writing by, the Local Planning Authority. The landscaping scheme shall include provision for landscape planting, including a hedgerow along the

Commercial Road frontage and at least 2 trees adjacent to the access, the retention and protection of existing trees, details of boundary enclosure, surface treatment, access steps, external lighting.

Upon approval:

- a) the approved scheme shall be fully implemented, with new planting carried out in the planting season October to March inclusive following occupation of the building(s), and hard landscape completed prior to first occupation;
- b) all planting shall be carried out in accordance with British Standards, including regard for plant storage and ground conditions at the time of planting;
- c) the scheme shall be properly maintained for a period of 5 years and any plants (including those retained as part of the scheme) which die, are removed or become damaged or diseased within this period shall be replaced in the next planting season with others of a similar size and the same species, unless the Local Planning Authority gives written consent to any variation; and
- d) the whole scheme shall be subsequently retained.

Reason -

In the interests of visual amenity, to ensure that the approved landscaping scheme is carried out at the proper times and to ensure the establishment and maintenance of all trees and plants, and highway safety and in accordance with Policies PP27, PP30, PP33 & PP35 of the Poole Local Plan 2018.

12. GN162 (Renewable Energy - Residential)

Prior to first occupation of the building(s) hereby permitted, details of measures to provide 20% of the predicted future energy use of each dwelling from on-site renewable sources, shall be submitted to and approved in writing by the local planning authority. These measures must then be implemented before any residential occupation is brought into use, and maintained thereafter.

Reason-

In the interests of delivering a sustainable scheme, reducing carbon emissions and reducing reliance on centralised energy supply, and in accordance with Policy PP37 of the Poole Local Plan 2018.

13. AA01 (Non standard Condition)

The electric car charging points shown on the approved plans shall be installed prior to first occupation of the scheme hereby approved, and thereafter maintained in accordance with the manufacturer's instructions and retained.

Reason-

In the interests of supporting the benefits of such technology and improvements in air quality and in accordance with Policies PP35 of the Poole Local Plan 2018

14. AA01 (Non standard Condition)

Details of bio-diversity enhancement to be delivered on site shall be submitted to and approved in writing by the Local Planning Authority and implemented prior to occupation of the dwelling hereby approved. The details could include, but not restricted to bat and bird boxes and bricks, bee bricks, hedgehog routes and native planting.

Reason

In order to deliver the biodiversity enhancement required by the NPPF and in accordance with policy PP33 of the Poole Local Plan 2018

15. AA01 (Non standard Condition)

Development shall not commence until section i has been complied with and a time scale for parts ii - iv have been proposed and agreed in writing:

i) Desk Study

A Phase 1 Desk Study report shall be submitted for approval in writing by the Local Planning Authority. The Desk Study report should incorporate a 'conceptual model' of all the potential pollutant linkages on site based on the proposed layout and use of the site.

ii) Site Characterisation

An intrusive site investigation, based on i), and risk assessment must be completed in accordance with a scheme to assess the nature and extent of any contamination on the site. The investigation and risk assessment must be undertaken by competent persons and a written report of the findings must be produced. The written report is subject to the approval in writing of the Local Planning Authority.

iii) Remediation Scheme

If site characterisation identifies the need for remediation, a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and controlled waters must be prepared, and is subject to the approval in writing of the Local Planning Authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria. The scheme must ensure that the site will not qualify as contaminated land under Part IIA of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation

iv) Implementation of approved remediation scheme

The approved remediation scheme must be carried out in accordance with its terms prior to the commencement of development other than that required to carry out remediation, unless otherwise agreed in writing by the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme, a verification report that demonstrates the effectiveness of the

remediation carried out must be produced and is subject to the approval in writing of the Local Planning Authority.

v) Reporting unexpected contamination

In the event that contamination is found at any time when carrying out the approved development that was not previously identified it must be reported in writing immediately to the Local Planning Authority. An investigation and risk assessment must be undertaken in accordance with the requirements of sections i) and ii), and where remediation is necessary a remediation scheme must be prepared in accordance with the requirements of section iii), which is subject to the approval in writing of the Local Planning Authority.

Following completion of measures identified in the approved remediation scheme a verification report must be prepared, which is subject to the approval in writing of the local planning authority in accordance with section iv).

Reason-

Due to the historic uses of the site and in order to provide an appropriate environment for residential occupation and to prevent further harm to the wider environment and in accordance with Policy PP27 of the Poole Local Plan 2018

17 (Accessible and Adaptable homes)

In advance of securing Building Regulation Compliance, the developer will identify 3 of the dwellings hereby permitted to be built in accordance with the requirements of Approved Document Part M4(2) Category 2 of the Building Regulations (2015) (as amended). The units shall first have been agreed in writing by the Local Planning Authority.

Reason -

In the interests of meeting the needs of the ageing population and in accordance with PP12 of the Poole Local Plan 2018

Informative Notes

1. IN72 (Working with applicants: Approval)

In accordance with the provisions of paragraphs 38 of the NPPF the Local Planning Authority (LPA) takes a positive and creative approach to development proposals focused on solutions. The LPA work with applicants/agents in a positive and proactive manner by;

- offering a pre-application advice service, and
- advising applicants of any issues that may arise during the consideration of their application and, where possible, suggesting solutions.

Also:

- in this case the applicant was advised of issues after the initial site visit
- in this case the applicant was afforded an opportunity to submit amendments

to the scheme which addressed issues that had been identified
- the application was considered and approved without delay

2. IN74 (Community Infrastructure Levy - Approval)

Part 11 of the Planning Act 2008 and the Community Infrastructure Levy Regulations

The proposed development referred to in this Planning Permission is a chargeable development liable to pay Community Infrastructure Levy (CIL) under Part 11 of the Planning Act 2008 and the CIL Regulations (amended).

In accordance with CIL Regulation 65, the Local Planning Authority (LPA) will issue a Liability Notice in respect of the chargeable development referred to in this planning permission as soon as practicable after the day on which this Planning Permission first permits development. The Liability Notice will confirm the chargeable amount for the chargeable development referred to in this Planning Permission and will be calculated by the LPA in accordance with CIL Regulation 40 (amended) and in respect of the relevant CIL rates set out in the adopted charging Schedule. Please note that the chargeable amount payable in respect of the chargeable development referred to in this planning permission is a local land charge.

Please be aware that failure to submit a Commencement Notice and pay CIL in accordance with the CIL Regulations and Council's payment procedure upon commencement of the chargeable development referred to in this Planning Permission will result in the Council imposing surcharges and taking enforcement action. Further details on the Council's CIL process including assuming liability, withdrawing and transferring liability to pay CIL, claiming relief, the payment procedure, consequences of not paying CIL in accordance with the payment procedure and appeals can be found on the Poole website: <http://www.poole.gov.uk/planning-and-buildings/planning/ldf/community-infrastructure-levycommunity-infrastructure-levy/>

3. IN81 (SAMM Approval)

The necessary contributions towards SAMM arising from the proposed development have been secured by a S.111 agreement and have been received.

4. IN84 (AA passed)

This application is subject to a project level Appropriate Assessment in accordance with the Conservation of Habitats and Species Regulations 2017, concluding that the likely significant effects arising from the development can be mitigated and have been mitigated ensuring there would not be an adverse effect on the identified designated sites of Nature Conservation Interest.

5. IN82 (Demolition of Buildings)

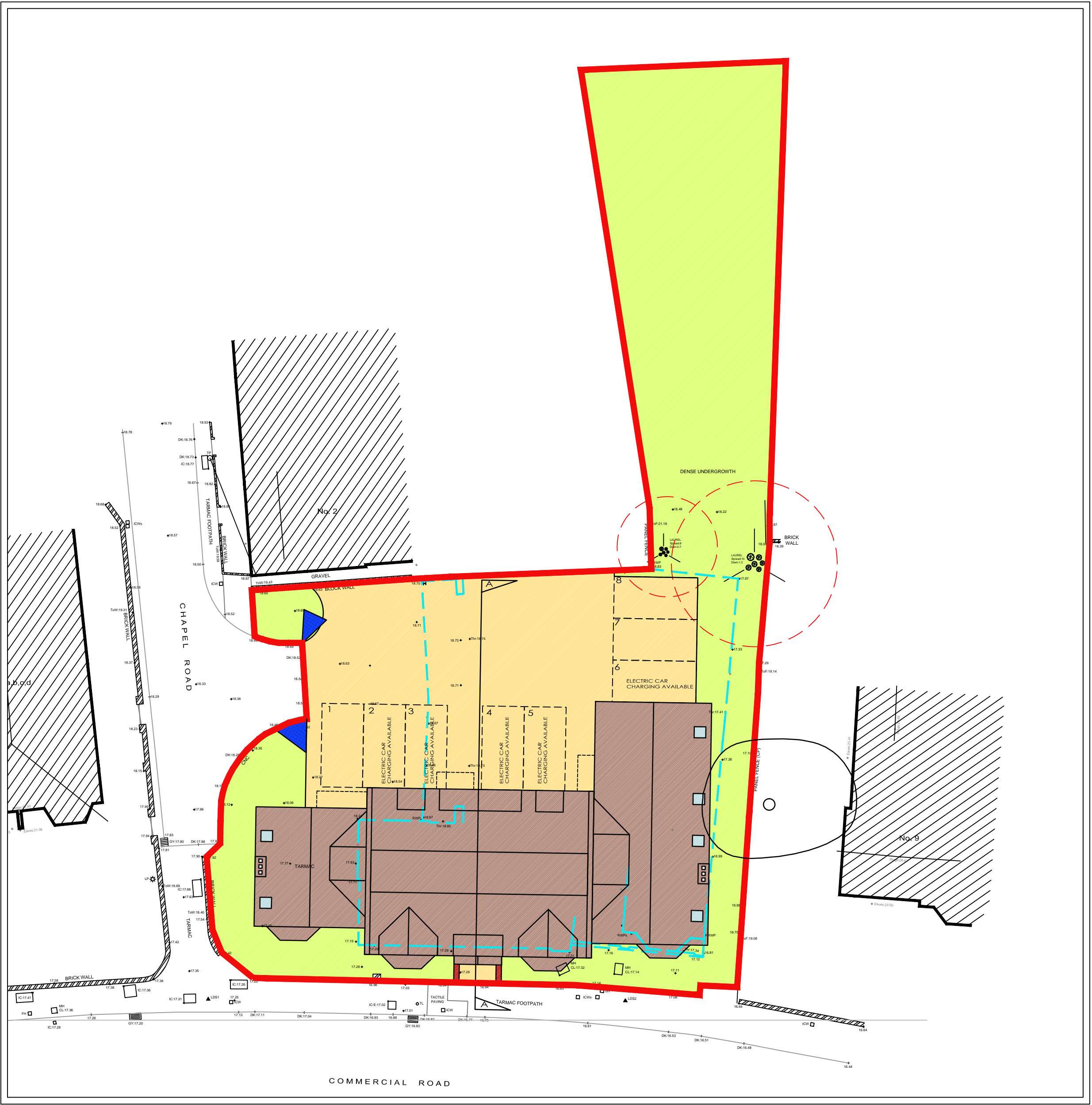
Applicants are advised of the need to notify the Council, under Section 80 of The Building Act 1984, of the proposed demolition of a building, which is over 1750 cubic feet, or which is not within the exemption criteria expanded within the Act.

An application form, with a list of required notifications, is available from Building Consultancy Services to assist applicants. Once appropriately notified, the Council will issue a counter notice which authorises the demolition, subject to certain standard conditions relating to health and safety issues and amenity preservation.

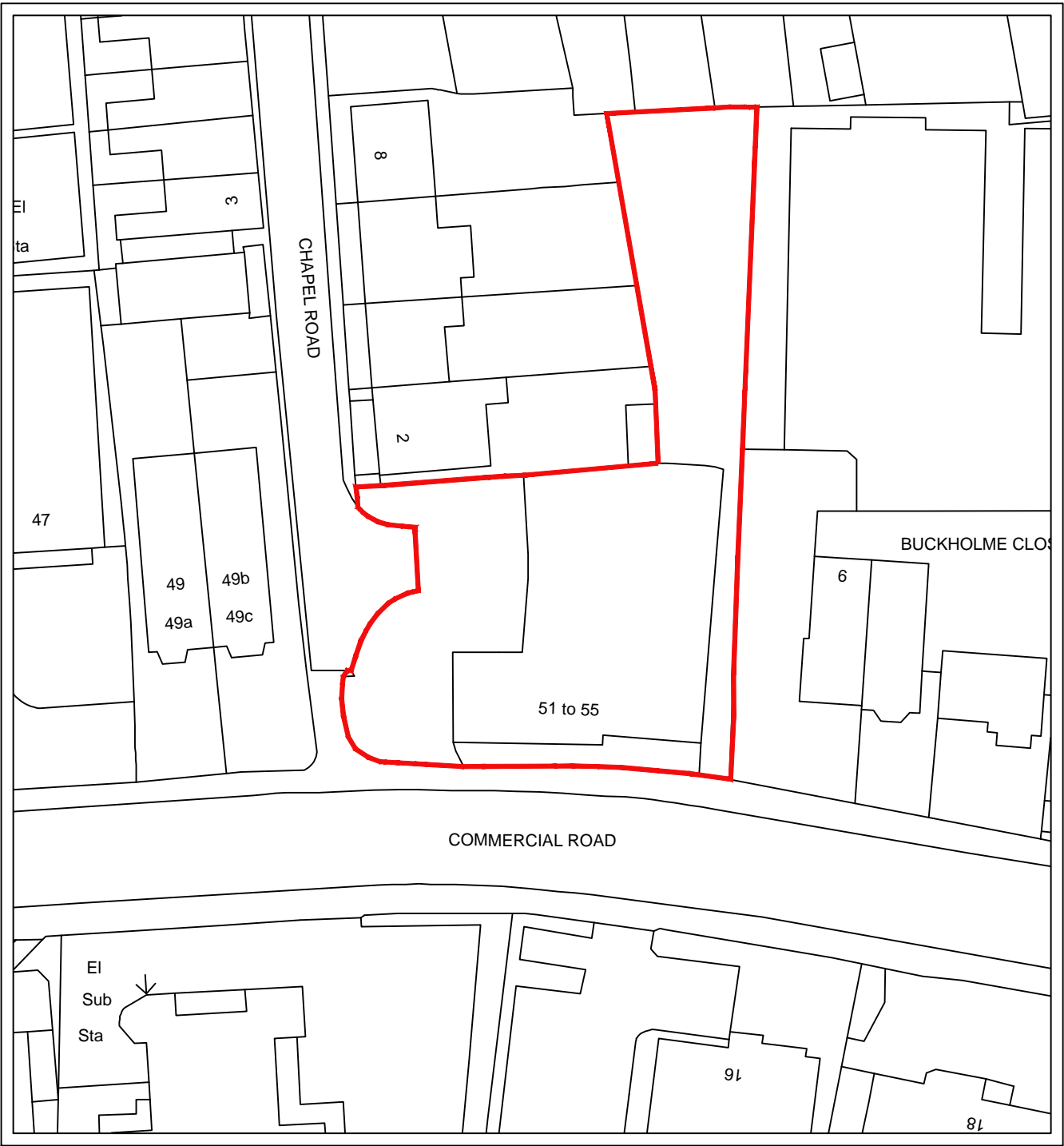
6. IN21 (Protection of Bats)

There is potential that bats may be roosting within the site. All bats are fully protected under the Wildlife & Countryside Act 1981. Section 9 of the act makes it an offence to intentionally kill, injure or disturb a bat and to damage, destroy or obstruct access to any structure that is used by bats for roosting.

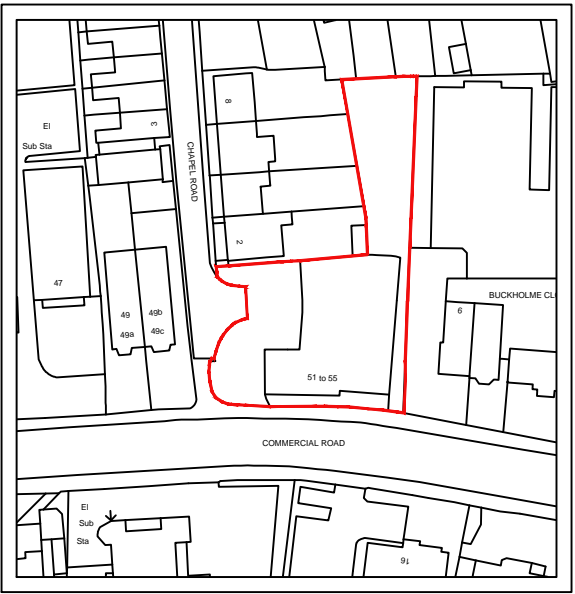
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SITE PLAN
BASED ON TOPOGRAPHICAL INFORMATION
SCALE 1:200



BLOCK PLAN
SCALE 1:500
BASED ON O.S. INFORMATION
O.S. LICENCE NUMBER 100007080



LOCATION PLAN
SCALE 1:1250
BASED ON O.S. INFORMATION
O.S. LICENCE NUMBER 100007080



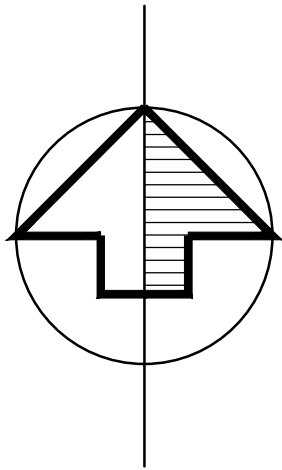
EXISTING STREET SCENE
NOT TO SCALE

NOTES

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8. Maccreanor waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail of basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
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14. At planning stage planning drawings are to only be used for planning purposes.
15. Mechanical ventilation may be required to basement car parks and apartment lobbies.

LEGEND

- SITE BOUNDARY
- EXISTING BUILDING TO BE DEMOLISHED
- EXISTING TREE TO BE REMOVED
- 2 X 2M VISIBILITY SPLAYS



| | |
|---|--|
| SITE AREA: 0.10 HECTARES / 0.24 ACRES | |
| 8 X UNALLOCATED PARKING SPACES | |
| 14 X 1 BEDROOM FLATS | |
| 14 X CYCLE SPACES | |
| PROPOSED GIA ACROSS SITE @: 783.9 SQM / 8434 SQFT | |

| | | | |
|---|--|----------|----|
| H | PARKING NOTE AMENDED. | 30.11.20 | JA |
| G | MINOR AMENDMENT. | 30.11.20 | JA |
| F | STREET SCENE UPDATED. | 30.11.20 | JA |
| E | PARKING CLUB SPACE SHOWN. | 30.11.20 | JA |
| D | PLANNERS COMMENTS. | 27.11.20 | JA |
| D | REVISED FLOOR PLAN SHOWN. | 13.11.20 | JA |
| C | ADDITIONAL PARKING SPACE ADDED. | 13.11.20 | JA |
| C | CYCLE / BIN STORAGE / PARKING REVISED. | 12.11.20 | JA |
| B | EXISTING TREES SHOWN TO BE REMOVED. | 14.09.20 | JA |
| A | REVISED SITE PLAN AND ELEVATION SHOWN. | 02.09.20 | JA |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

PROPOSED DEVELOPMENT,
51-55 COMMERCIAL ROAD,
POOLE,
DORSET,
BH14 0JB.

SITE, BLOCK, LOCATION PLANS &
STREET SCENE

| | | | |
|----------|---------------|---------------|----|
| scale | AS SHOWN @ A1 | checked | |
| date | AUGUST 2020 | drawn | JA |
| 9363/100 | | A B C D E F G | |
| | | H | |

ARC Architecture Ltd.

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Web: www.andersrobertscheer.co.uk



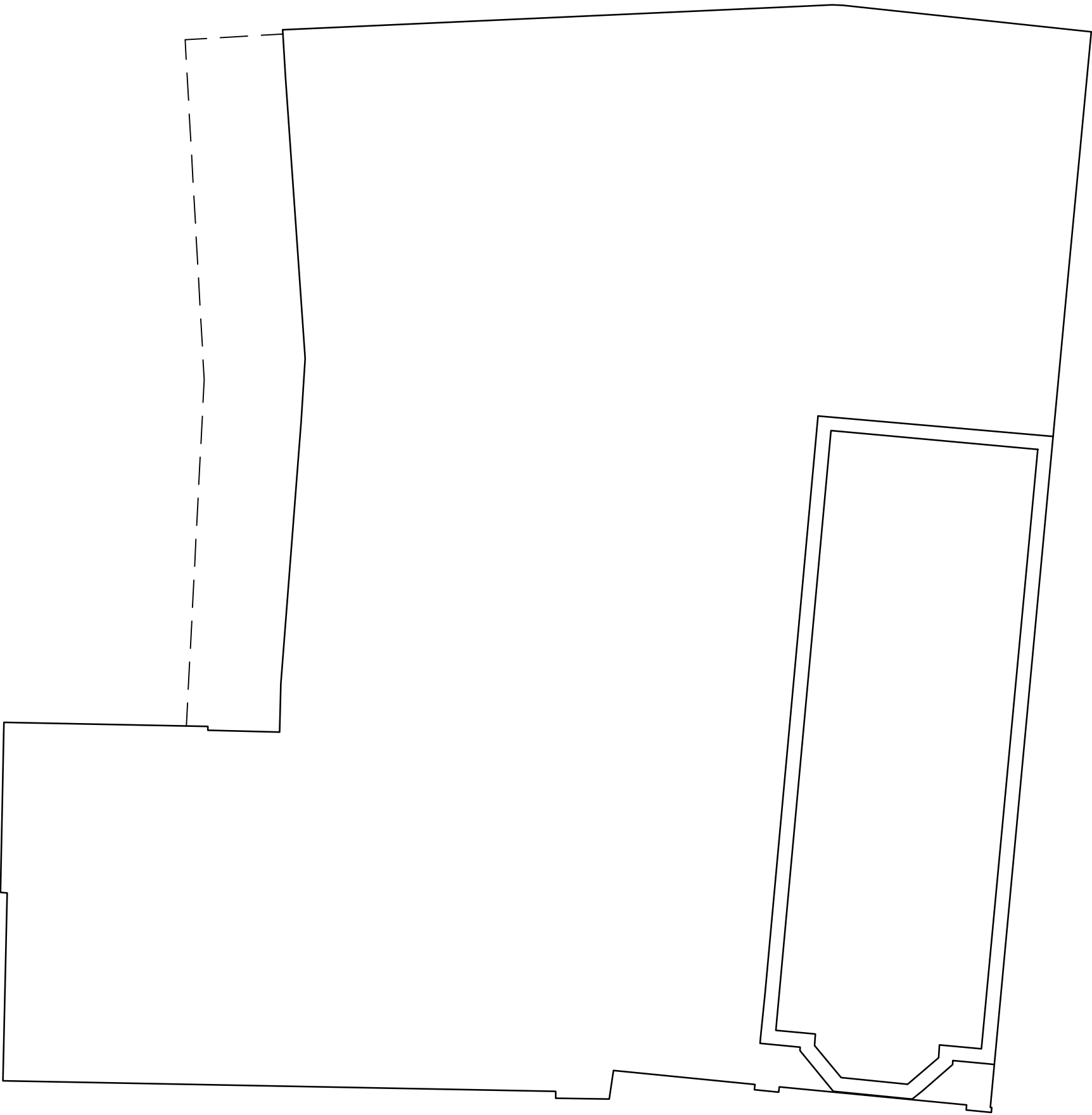
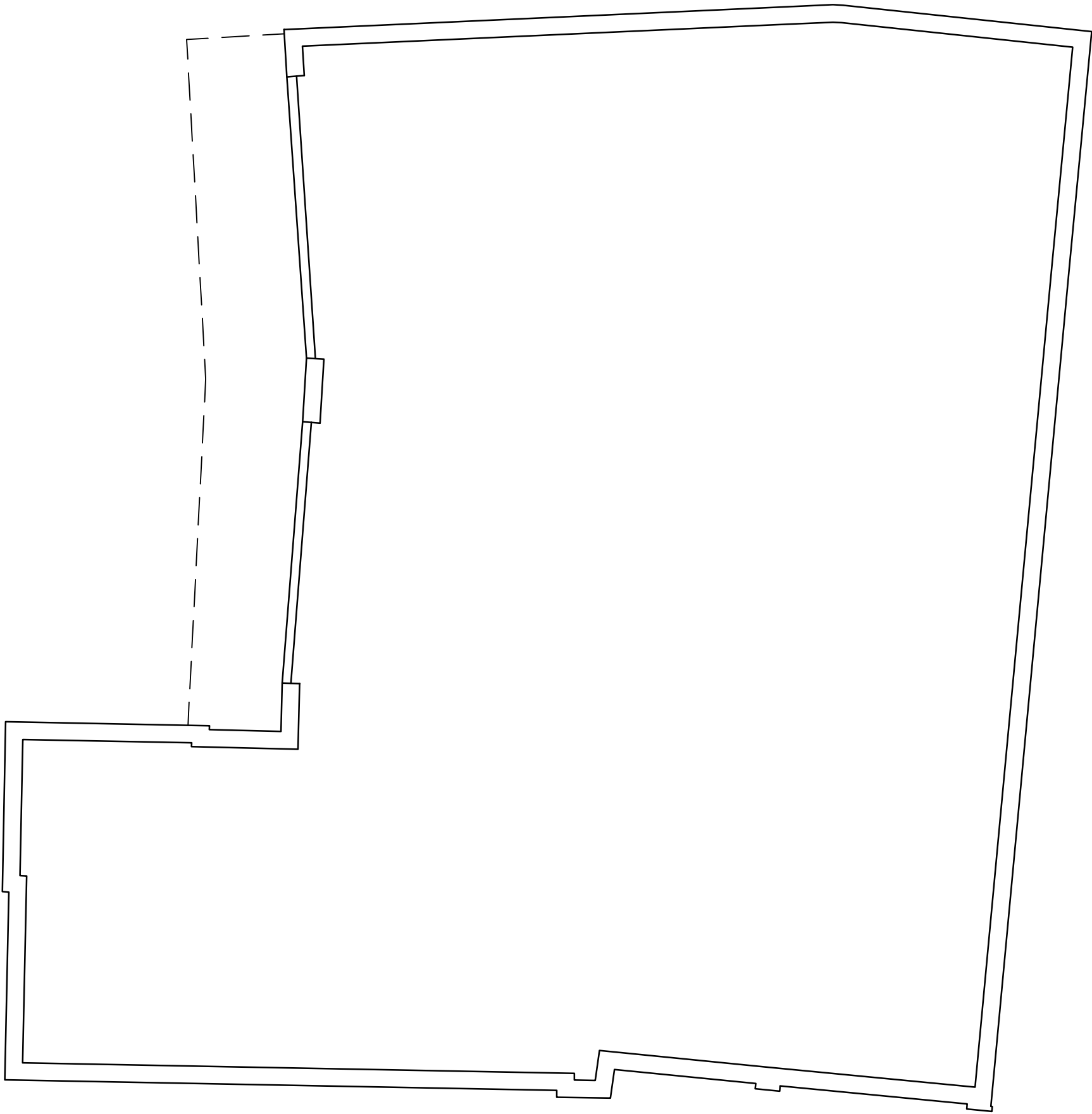
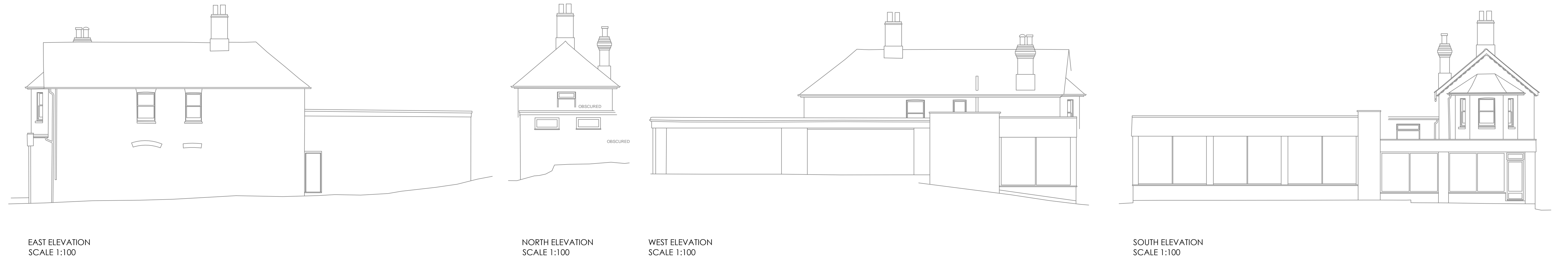
INDICATIVE STREET SCENE
SCALE 1:100

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EXISTING FLOOR AREA @: 419.9 SQM

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

PROPOSED DEVELOPMENT,
51-55 COMMERCIAL ROAD,
POOLE,
DORSET,
BH14 0JB.

EXISTING FLOOR PLANS & ELEVATIONS

| | | |
|-------|---------------|----------|
| scale | AS SHOWN @ A1 | checked |
| date | AUGUST 2020 | drawn JA |

9363/103

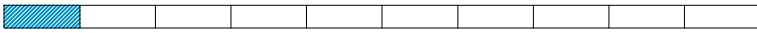
ARC Architecture Ltd.

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E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



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SOUTH ELEVATION
SCALE 1:100

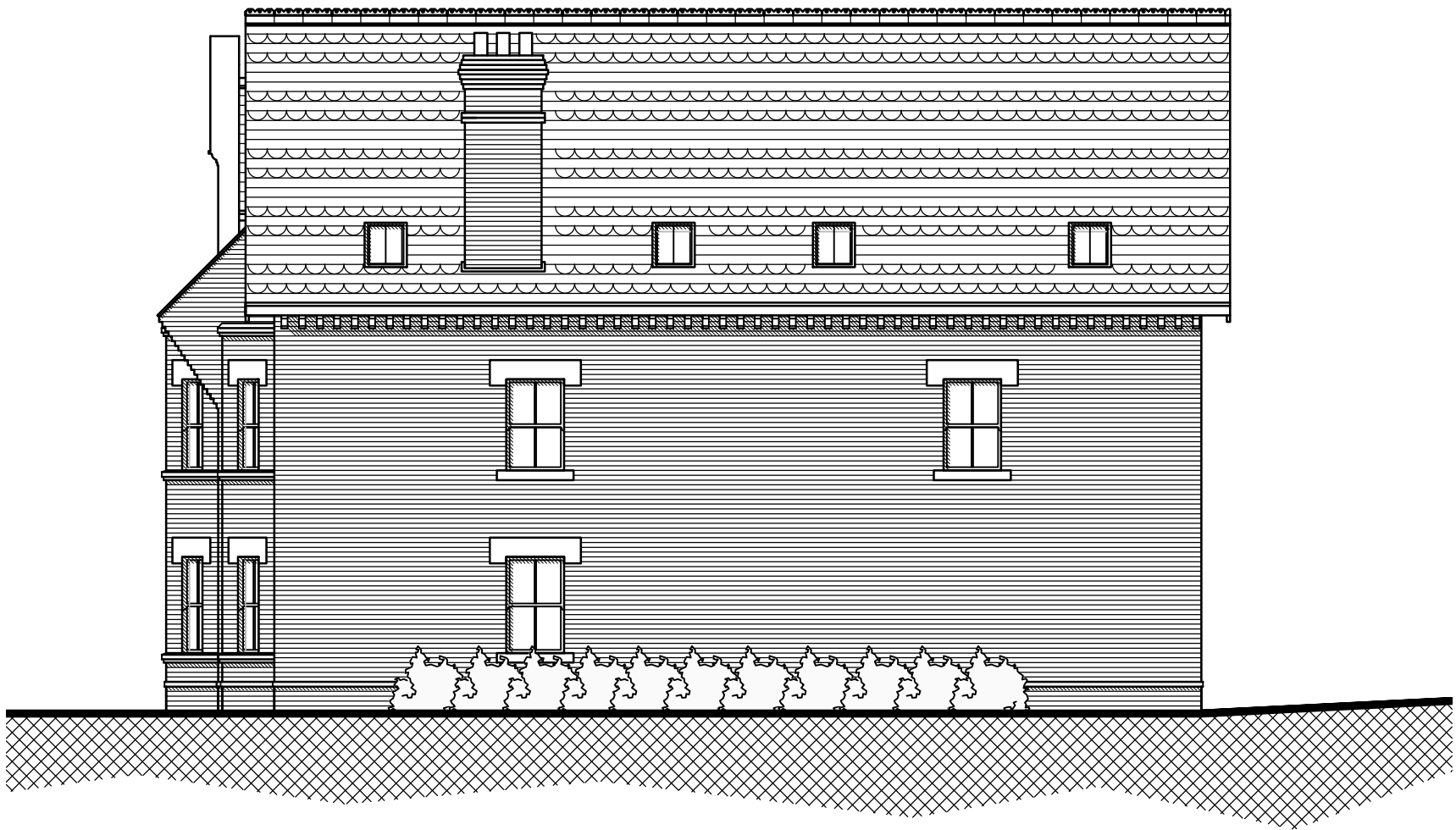


WEST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100

ELECTRIC VEHICLE CHARGING POINTS



EAST ELEVATION
SCALE 1:100

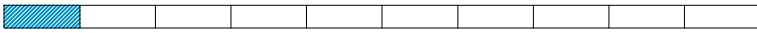
| MATERIALS SCHEDULE | | | |
|--|--|----------|----|
| WALLS: RED BRICK | | | |
| ROOF: CLAY EFFECT TILES WITH DECORATIVE TILE & RIDGE | | | |
| WINDOWS: UPVC SASH | | | |
| E. | CLIENTS COMMENTS | 27.11.20 | JA |
| D. | PLANNERS COMMENTS | 27.11.20 | JA |
| C. | NORTH ELEVATION AMENDED | 13.11.20 | JA |
| B. | ELEVATIONS REVISED TO MATCH AMENDED FLOOR PLAN. | 12.11.20 | JA |
| A. | ELEVATIONS REVISED TO MATCH AMENDED FLOOR PLANS. | 02.09.20 | JA |
| No. | Revision. | date | by |

PROPOSED DEVELOPMENT,
51-55 COMMERCIAL ROAD,
POOLE,
DORSET,
BH14 0JB.

PROPOSED ELEVATIONS

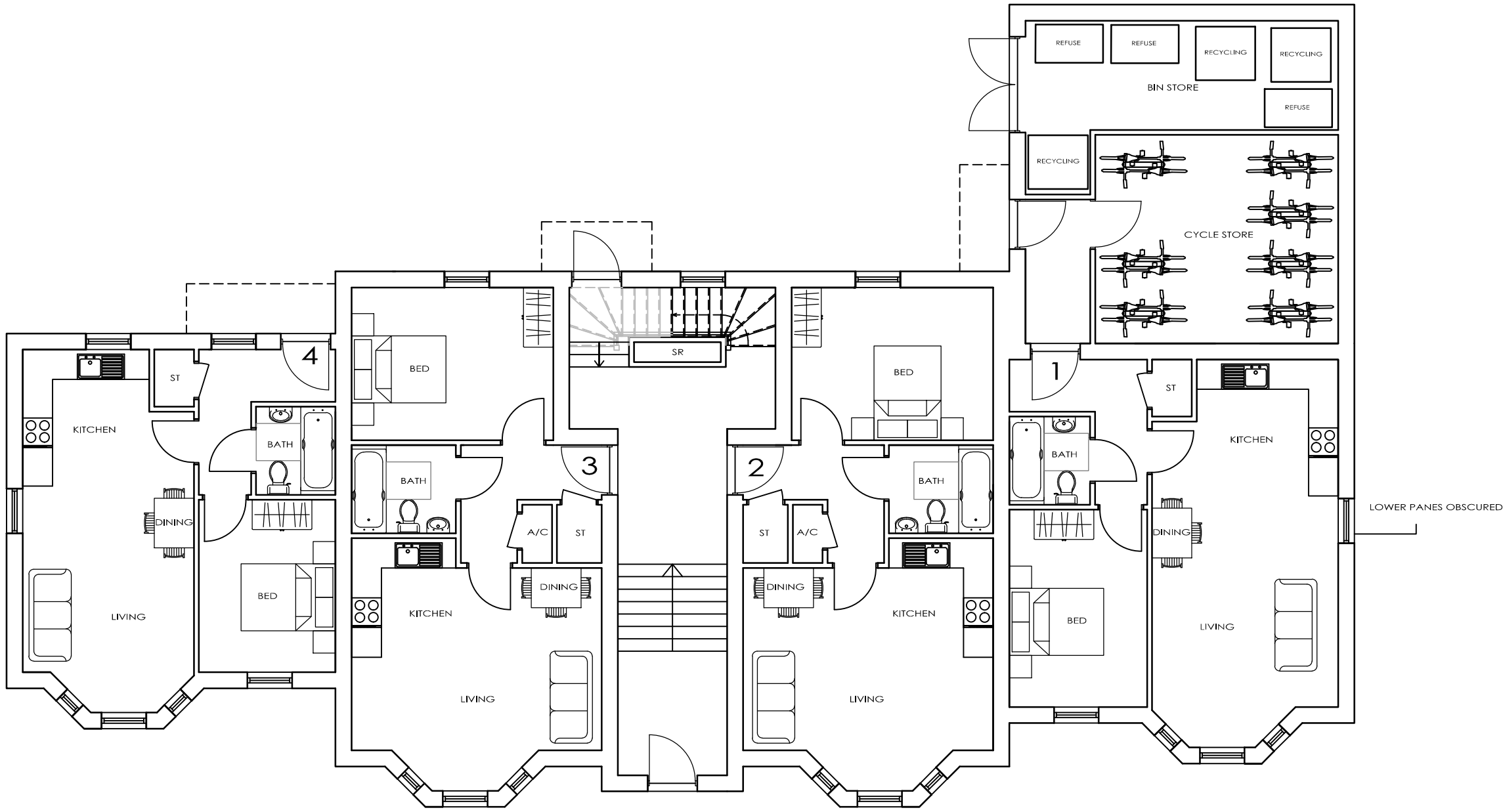
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| scale | AS SHOWN @ A1 | checked | |
| date | AUGUST 2020 | drawn | JA |
| 9363/102 | | A | B |
| ARC Architecture Ltd. | | C | D |
| Chapel Studios, 14 Purewell, | | E | |
| Christchurch, Dorset, BH23 1EP | | | |
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| E-mail: enquiries@andersrobertscheer.co.uk | | | |
| Web: www.andersrobertscheer.co.uk | | | |

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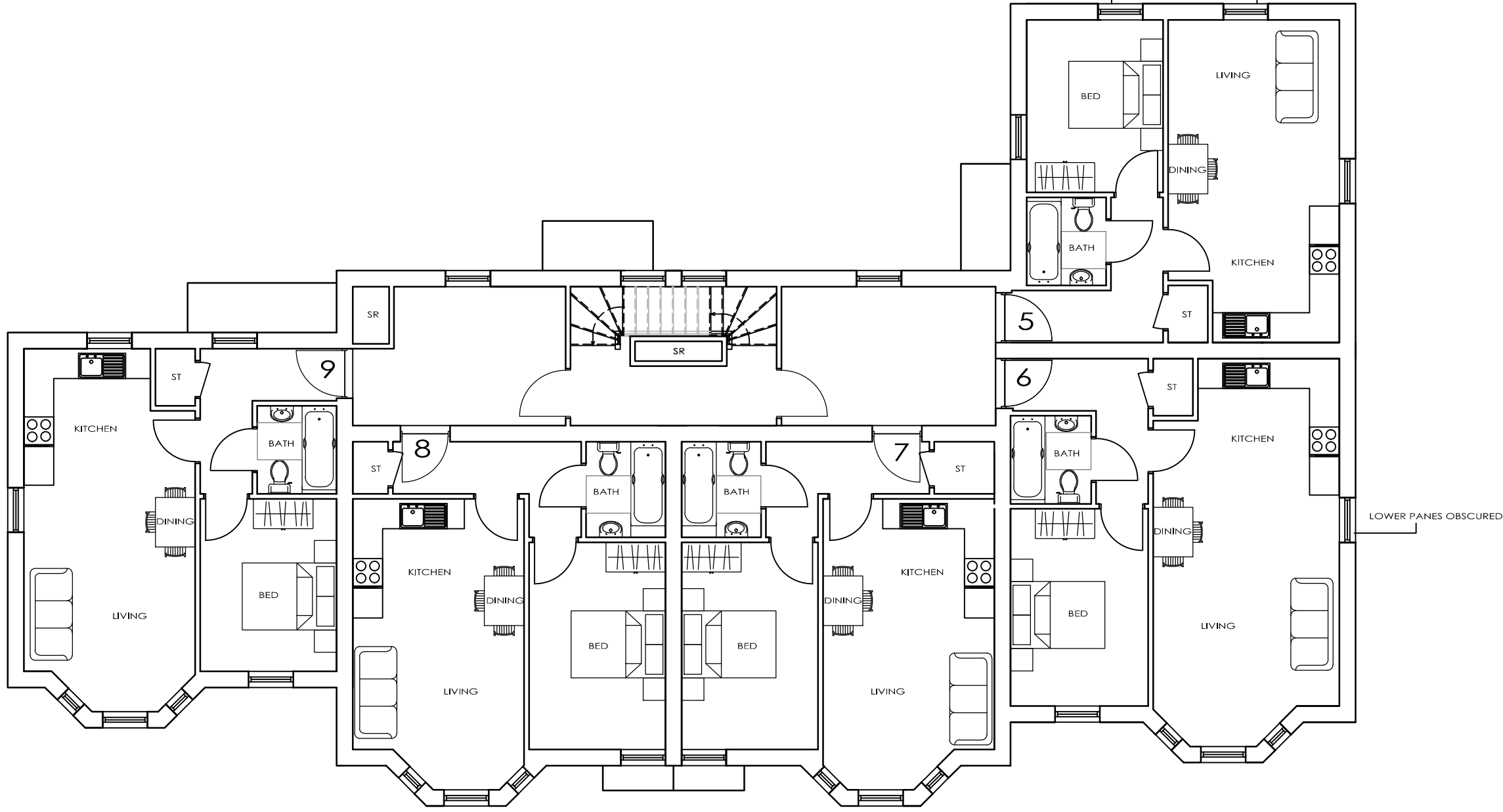


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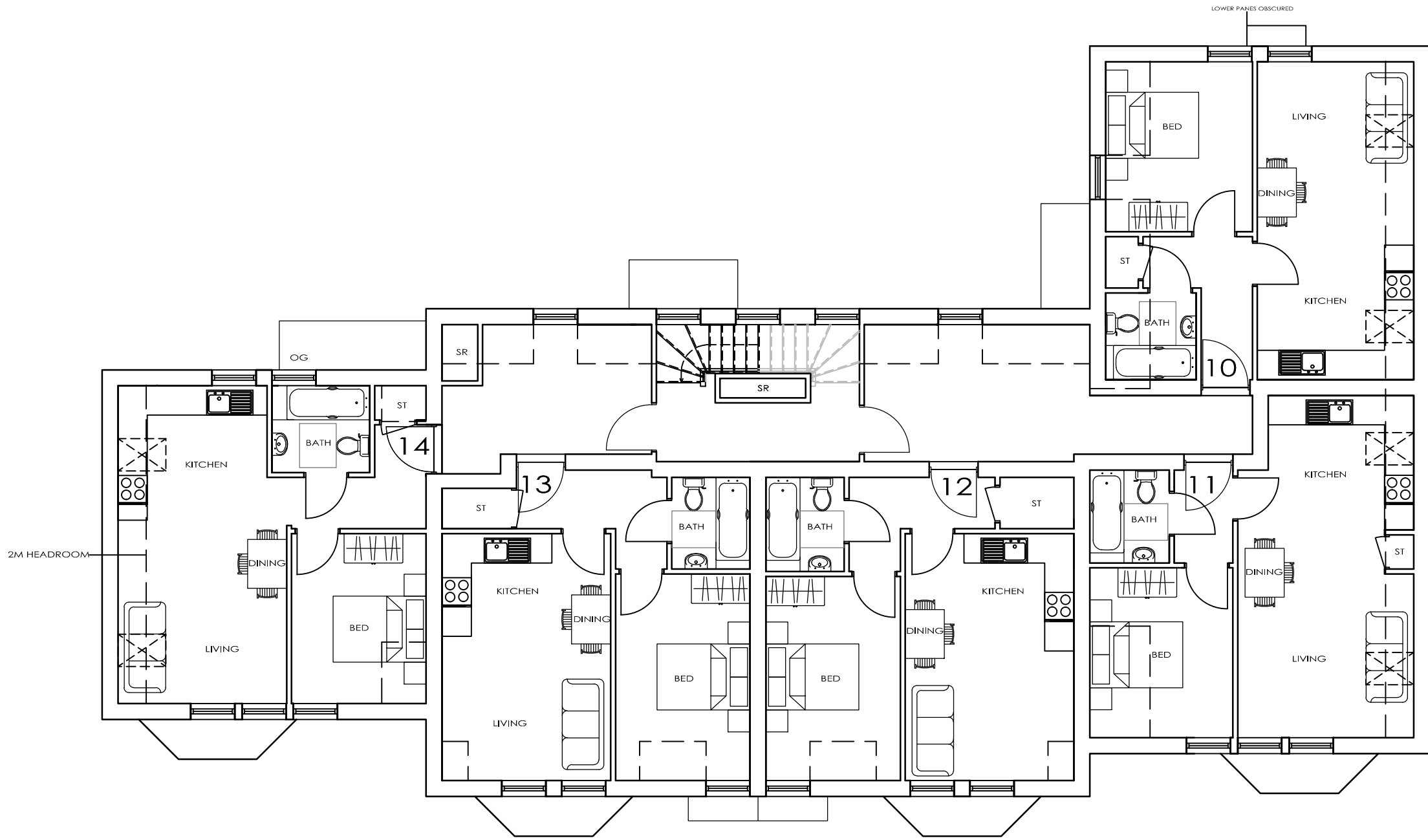
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GROUND FLOOR PLAN
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100



UPPER FLOOR PLAN
SCALE 1:100

SCHEDULE OF ACCOMMODATION

UNIT 1: 1 BED FLAT @ 48.1 SQM / 517 SQFT
UNIT 2: 1 BED FLAT @ 48.1 SQM / 517 SQFT
UNIT 3: 1 BED FLAT @ 45.6 SQM / 490 SQFT
UNIT 4: 1 BED FLAT @ 42.6 SQM / 458 SQFT
UNIT 5: 1 BED FLAT @ 41.2 SQM / 443 SQFT
UNIT 6: 1 BED FLAT @ 48.1 SQM / 517 SQFT
UNIT 7: 1 BED FLAT @ 40.7 SQM / 437 SQFT
UNIT 8: 1 BED FLAT @ 40.7 SQM / 437 SQFT
UNIT 9: 1 BED FLAT @ 42.6 SQM / 458 SQFT
UNIT 10: 1 BED FLAT @ 40.9 SQM / 440 SQFT
UNIT 11: 1 BED FLAT @ 40.8 SQM / 439 SQFT
UNIT 12: 1 BED FLAT @ 39 SQM / 419 SQFT
UNIT 13: 1 BED FLAT @ 39.1 SQM / 420 SQFT
UNIT 14: 1 BED FLAT @ 40.9 SQM / 440 SQFT

| | | | |
|----|----------------------------|----------|----|
| E. | CLIENTS COMMENTS. | 27.11.20 | JA |
| D. | PLANNERS COMMENTS. | 27.11.20 | JA |
| C. | GROUND FLOOR PLAN REVISED. | 13.11.20 | JA |
| B. | GROUND FLOOR PLAN REVISED. | 12.11.20 | JA |
| A. | ALL FLOOR PLANS REVISED. | 02.09.20 | JA |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

PROPOSED DEVELOPMENT,
51-55 COMMERCIAL ROAD,
POOLE,
DORSET,
BH14 0JB.

PROPOSED FLOOR PLANS

| | | | |
|----------|---------------|-----------|----|
| scale | AS SHOWN @ A1 | checked | |
| date | AUGUST 2020 | drawn | JA |
| 9363/101 | | A B C D E | |

ARC Architecture Ltd.

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Planning Committee

| | |
|---|---|
| Application Address | Walpole Road Open Space (Churchill Gardens), Walpole Road, Bournemouth, BH1 4ES |
| Proposal | Demolition of existing park building and erection of Community/ Cafe building with associated landscape works |
| Application Number | 7-2020-7347-G |
| Applicant | BCP Council |
| Agent | BCP Council |
| Date Application Valid | 10 July 2020 |
| Decision Due Date | 8 October 2020 |
| Extension of Time date (if applicable) | TBC |
| Ward | Boscombe West |
| Report Status | Public |
| Meeting Date | 17 December 2020 |
| Recommendation | GRANT |
| Reason for Referral to Planning Committee | 20 plus objections contrary to Officer recommendation |
| Case Officer | Peter Burridge |

Description of Development

- 1 Planning permission is sought for the 'Demolition of existing park building and erection of community/ café building with associated landscape works'.
- 2 Amended plans form a part of this planning application which have made various revisions to the plans including the slight repositioning of the proposed building, design changes to the building and changes to the landscaping proposed. These changes were subsequently re-advertised. Further to this, the development description has been amended to 'community/ café building' as opposed to the advertised description stating, 'community building'. This better reflects the nature of the proposal and comments received which express resounding support for the existing Joy café. This change to the description has not been re-advertised but is not considered to prejudice any persons and also reflects the submitted plans.
- 3 The applicant has provided the following information:

| | Existing | Proposed |
|------------------|-----------------|-----------------|
| Site Area | 1.4ha | 1.4ha |
| Use of building | community/ cafe | community/ cafe |
| Height (approx.) | 3m | 3.95m |
| Depth (approx.) | 8.6m | 5.8m |
| Width (approx.) | 9.9m | 12.5m |

Key Issues

- 4 The main considerations involved with this application are:
 - Impact on character and appearance of the conservation area;
 - Trees;
 - Biodiversity;
 - Residential amenity;
 - Highway safety;
 - Refuse and recycling.
- 5 These points will be discussed as well as other material considerations in the report below.

Planning Policies

6 Core Strategy (2012)

CS1: NPPF – Presumption in Favour of Sustainable Development
CS5: Promoting a Healthy Community
CS6: Delivering Sustainable Communities
CS12: Retaining Community Uses
CS18: Increasing Opportunities for Cycling and Walking
CS31: Recreation, Play and Sports
CS35: Nature and Geological Conservation Interests
CS38: Minimising Pollution
CS39: Designated Heritage Assets
CS41: Quality Design

7 District Wide Local Plan (2002)

- 4.25: Landscaping
- 7.10: Sport and Recreation

8 Boscombe and Pokesdown Neighbourhood Plan (2019)

- BAP1: The scale and density of development
- BAP2: Good design of the 21st century
- BAP4: Open Spaces

9 Supplementary Planning Documents:

- Sustainable Urban Drainage Systems (SUDS) - PGN
- Conservation Area Appraisal (2013)
- Conservation Area Management Plan (2015)

The National Planning Policy Framework (2019)

- 10 Paragraph 11 sets out the presumption in favour of sustainable development. Development plan proposals that accord with the development plan should be approved without delay. Where the development plan is absent, silent or relevant policies are out-of-date then permission should be granted unless any adverse impacts of approval would significantly and demonstrably outweigh the benefits when assessed against the NPPF.
- 11 Paragraph 192 states that in determining applications, local planning authorities should take account of: a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation; b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and c) the desirability of new development making a positive contribution to local character and distinctiveness.
- 12 Paragraph 193 states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance.
- 13 Paragraph 194 states any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Paragraph 195 states that where a proposed development will lead to substantial harm to (or total loss of significance of) a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or total loss is necessary to achieve substantial public benefits that outweigh that harm or loss. Paragraph 196 further states that where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.

Relevant Planning Applications and Appeals:

- 14 7-2016-7347-D: Alterations and change of use from youth centre to mixed community use (Class D2) and cafe (Class A3). Approved: 27 January 2017

This permission contained the following planning conditions relevant to this application:

- *The food to be prepared and cooked will be limited to simple hot and cold snacks in accordance with the email dated 17/01/17.*
- *Any proposal to run the premises solely as a café without community use (D2) would require a change of use application.*
- *The café use hereby permitted shall not be open to customers outside the following times: 08:00 hours and 20:00 hours.*
- *The community use hereby permitted shall not operate outside the following times: 08:00 hours and 22:00 hours.*

- 15 7-1985-7347-C: Alterations and extension to play building to extend playroom. Granted: 15 November 1985

Representations

- 16 4 site notices were erected at the 4 corners of Churchill Gardens on 13 August 2020 with a consultation expiry date of 4 September 2020. 4 additional site notices advertising amended plans were displayed on 11 November 2020 with a consultation expiry date of 22 November 2020.
- 17 Overall, there are 23 objections, 29 letters of support and 15 comments. The original plans attracted near universal objection, but the amended plans near universal support. 2 original objections were withdrawn from the comments initially received.
- 18 Objections to the original plans raised the following concerns (summary):

Building:

- Joy Café should be retained – it is thriving and valued by the community;
- Existing position allows open long-distance views of the park/ supervision of children;
- Current location discreet and allows easy access for refuse;
- New position would impede on open space;
- Building is unnecessary and intrusive;
- New meeting/ community room too small;
- Soulless expensive cafe run by the Council not wanted;
- Proposed building should be carbon neutral;
- Wasted money moving building and realigning footpath.

Open Space:

- Humble open space' cluttered with fences, furniture and equipment;
- Large open areas important – many people do not have their own gardens;
- New paths reduce area of open space;
- Dog agility area not required, too small to be effective and reduces open space.

Playpark:

- Popular fenced playground significantly reduced in size (up to 33% smaller);
- Play equipment needs to be replaced.

Planting:

- Previous gardening club unsuccessful and planting beds an eyesore;
- Growing beds welcomed and would help mental health issues;
- Growing beds close to entrance leaves it vulnerable to being trampled;
- Additional planting would reduce visibility and increase anti-social behaviour problems.

Other:

- Future role of Joy Café needs to be clear;
- Investment welcomed but doing so in the wrong way;
- Lack of consultation;
- Not aimed at local people (majority comprising single parents, disabled and unemployed);
- No plans to tackle rubbish, fly tipping etc – money should be spent on new/ more bins;
- Should support Climate Emergency – e.g. enhance existing building and add recycling bins;
- Noise from dog agility area would adversely impact residential amenities;
- Proposal could lead to a decline in the area if not well used.
- Regard should be had for local wildlife including hedgehogs;
- CCTV should be installed;
- Lighting supported/ lighting will attract late night drinkers.

19 The following supportive comments were received (summary):

- Café should be 4-5 times larger than existing;
- New footpath lighting will make the park safer;
- Refresh of park and play equipment welcomed;
- Good management plan required.

20 The following comments in response to the amended plans (summary):

- New plans better support and reflect needs of local community;
- Pleased that playpark is not being reduced in size as much as was originally proposed;
- Location of paths more appropriate and positive that central path is widened;
- Design of building supported;
- Relocation of building accepted;
- Security shutters for building recommended;
- Present park only just adequate;
- Locals need to be proud of Churchill Gardens;

- More people would use the facilities if they were improved;
- Support for proposal moving forward in partnership with the Joy Café;
- One letter states project supported by 'East Dorset Friends of the Earth';
- New building will be bigger, better, more accessible and with a longer lifespan.

21 Bournemouth Civic Society (original plans):

'The Society thinks the suggested design is particularly elegant for such an honourable purpose and recommend it be granted without reservation.'

Consultations (summary of comments)

22 Conservation Officer: concerns raised including;

- *'...There is an improvement to the design of the building with increased glazing and a more balanced appearance. However, there are still concerns in relation to its size and central location as previously noted. These concerns will need to be weighed against the public benefits of the scheme...'*
- Queried whether cycle store and table tennis can be moved to café side to aid openness;
- Further details required in respect of railings and security shutters;
- Further details required regarding lighting – are so many lampposts required?

23 Urban Design Officer: no objection subject to conditions

- *'I welcome the amendments and feel they have overcome the concerns raised in pre application advice and by residents as far as possible. I hope the new café and wider masterplan will secure funding and be delivered as the proposals would bring many health and social benefits to the local community...'*

24 Tree Officer: no objection subject to conditions to include;

- Soft landscaping condition that includes replacement tree planting details;
- Revised arboricultural method statement to reflect amended building position.

25 Biodiversity Officer: no objection

- No conditions requested with suitable details in the Design and Access Statement.

26 Waste and Recycling Officer: no objection subject to condition

- Application meets the requirements of the Waste Collection Authority;
- Waste Management Plan required.

27 Highway Officer: no objection subject to condition and informative

- No material increase/ change in character of traffic within the vicinity of the site.

28 Environmental Health Officer: no objection subject to condition

- Suitable distance to residential properties so as not to create noise nuisance.

29 Dorset Police: support for concept of trying to improve community open space

- *'I support the concept of trying to improve this Community Open Space. Being very aware of the history within the Conurbation, I suspect that there will be no CCTV monitoring. Due to the level of attacks on the existing cafe, and the destruction caused at other facilities, I would hope that the central building will have high security standard doors and windows, preferably incorporating an intruder alarm. Hopefully with a clear view across from all the surrounding properties there will be enough community focus to deter anti-social behaviour.'*

30 Sport England: no comment/ not within consultation criteria

31 Natural England: refer to standing advice

32 Wessex Water: no objections

Constraints

33 Conservation Area and Open Space

Planning Assessment

Site and Surroundings

34 Churchill Gardens comprises a near square area of public open space bounded by Churchill Road to the north and east, Borthwick Road to the south and Walpole Road to the west. The gardens are 1.4ha in area and are owned and managed by BCP Council. The gardens are characterful but somewhat rundown and are an important focal point for residents; especially those who do not have gardens.

35 There is an asymmetrical diagonal tarmac path that runs east to west through the site and the single-storey 'Joy café' building lies in the north western corner included within a fenced children's playground. The café is a single-storey building occupying an 'L' shaped footprint of modular temporary design. Joy Café' is a not-for-profit community café that is understood to have significantly improved the area for residents, appears universally popular and well-supported. A large ballcourt enclosed by high weldmesh fence lies in the north eastern corner of the gardens. The gardens are enclosed by mature perimeter trees and overlooked by four rows of Victorian terraces on each side of the gardens. The gardens fall within Area 4 of the Boscombe and Pokesdown Neighbourhood Plan which describes Churchill Gardens open space as:

'Area of open space with children's playground for a range of ages as well basketball courts.

A well used local facility that has suffered from some problems of anti-social behaviour and dog fouling. This park contains some substantial trees and extensive lawn areas. There is potential for more features in the park to attract a wider age range. (page 21)'

36 Concerning the exiting building, there has been a structure of some sorts in the north west corner of the site since its first use as a private school playing field. This developed from an

open wooden shelter to a Parks building in the late 1980's, with public toilets and a Parks ground store. During the 1990's to late 2000's the asset went over to Youth Services who used it as a base for staff and a drop in centre/ youth club. After being out of use for a while, it was then opened as Joy café.

- 37 Until the late 1980's there was a perimeter kee-clamp fence frame with chain-link infill. This was unpopular with residents due to limiting access and its ability to collect rubbish and leaves. The diagonal path was originally a desire line across the site; this was surfaced as a formal path probably during the early 1990's. The storm of 1986 took out trees in the south western corner of the gardens and along Walpole Road, replanting can still be seen today.
- 38 Until 1988 the play equipment was confined to the tarmac areas with a grass area between the playground and the ballcourt. The playground was extended in 1988 into this grass area, with safety surfacing subsequently added during 1990. The bow-top fencing was replaced in 2001 when the play area was extended again and taken up to the building. Since the building was handed back from Youth Services, the fencing incorporating the building into the play area is perceived as a barrier to customers accessing the café without children.
- 39 The application seeks permission for a replacement community building/ café supplying light meals and snacks; it is understood that the facility would continue to be run by Joy café. The proposal seeks to facilitate an education programme for unemployed and poor weight clients to grow and prepare healthy food and make good food choices, learn healthy cooking skills and horticultural skills for home or employment. The building would provide an adjoining community room for cooking club lessons; event hire and garden growing club meet ups. This room would have a kitchenette for users and store cupboard for a fridge/ freezer and cleaning implements. Lessons would use 'mobile island' style units that function as larger meeting tables or larger high café tables outside of lessons. The buildings flexibility means that lessons and hire of the room can happen whilst the café facilities continue. The building would have a Disability Discrimination Act compliant toilet, baby change and second unisex toilet. The application would also facilitate new landscaping works across the gardens and make provision for a new playground (albeit with the playground equipment not subject to this planning application and likely to be installed as permitted development).
- 40 The proposal has been designed having regard to the following aims of the Boscombe and Pokesdown Neighbourhood Plan (page 32):
- Aim 4: 'Improve public parks, spaces and streets with a focus on designing out crime by providing safe, well-lit routes between key areas'.*
- Aim 8: 'Identify what makes the neighbourhood unique in terms of its social, heritage and community assets and create policies that protect, preserve and enhance these assets for the next generation'.*
- Aim 9: 'Change the perception of the neighbourhood by promoting it as a historic, thriving community by making it the most desirable place to live and/or work in the borough'.*
- 41 The application site is designated as a Conservation Area. The Planning (Listed Buildings and Conservation Areas) Act 1990 sets out a general duty for the decision maker to pay special attention to the desirability of preserving or enhancing the character or appearance of the conservation area (S72).

- 42 The application site is designated as Open Space thus CS31 applies. This states that the Local Planning Authority will refuse permission for development that results in the loss of public and private open spaces, including sports grounds and playgrounds. The application seeks improvements to Churchill Gardens and would provide a replacement building thus on this basis, is considered to accord with the aspirations of CS31.

Key Issues

Impact on character and appearance of the conservation area

- 43 The importance of the green space which characterises the Churchill Gardens Conservation Area is highlighted by the Conservation Area Appraisal (2013); *‘The special interest of the Churchill Gardens Conservation Area lies in its uniqueness within the Borough as a fine example of a turn of the century development, where buildings are set out forming a square around a large recreational area. It is this combination of the relationship between the layout, the endurance of the original properties and features and the green space that provides the essence of its special character. The green space has particular local historic associations as a sports and recreation area. The space provides continuity with the past as well as present day leisure opportunities for local residents’*. Further, *‘All of the buildings remain as originally laid out. The survival of this formal town square and form of development within Bournemouth makes Churchill Gardens Conservation Area unique and of particular architectural and historic interest within the Borough’*.
- 44 The Conservation Area Management Plan (2015) notes that visually, the green space is crucial to the attractive sylvan setting of the surrounding houses which enclose the space. Churchill Gardens also has a very important role of social hub and play-space for residents and is an excellent space for insect wildlife. Informally, the green space continues on a day to day basis to provide valuable amenity space for the residents of Churchill Gardens and wider afield. The promotion of the space for the health and well-being of local residents is an important part of placing this space firmly within the heart of the community both physically and spiritually.
- 45 The application follows pre-application enquiry discussions, but the plans as firstly submitted failed to respond to many of the concerns raised. In this regard, a key concern was, and remains, the position of the new building. Historic maps show a building to the northwest corner of the site that roughly corresponds to the existing community building. The relocation of the building to the centre of the gardens has significant implications for the current open aspect of the gardens. Further, the new location of the building, combined with its increased size and elongated footprint, would result in a more prominent building within the gardens. Concerns have been expressed that the size and location of the new building, in combination with the number and location of the other proposals (e.g. raised beds, footpaths, entrance features including a community library and dry foods/ goods bank, fencing to dog area), would result in a more divided space with a degree of visual clutter that would compromise the open nature and aspect of Churchill Gardens. This would be particularly apparent from key locations at the entrances to the gardens.
- 46 Concerns regarding the repositioning of the building were largely reflected by the objections received in response to the initial plans with a strong desire for the building to remain in the same position. This owed to the vistas gained across the gardens also allowing supervision

of playing children as well as reflecting officer concerns regarding the existing open character of the gardens. However, the applicant has consistently refused to retain the new building in the existing location although has made other changes in response to officer and community concerns.

47 The applicant has highlighted the changes and further information made as follows:

- Building to continue as community café, as well as a new food related community project;
- Dog exercise area removed;
- Building repositioned to allow retention of larger playground (15% smaller but improved play equipment to be provided);
- Access path to east side removed;
- Fencing removed to help ensure less cluttered feel;
- Building accessible from both sides – park and playground users;
- Wider diagonal path and larger event/ free space;
- Growing space moved so that it relates better to the building;
- Additional paths to be formed from coloured asphalt;
- Building to have large areas of glazing to allow views through and from the building.

48 Responding to calls for the building to stay in its current location, the applicant advises:

Keeping the building in the same position;

- Views from the north west corner would continue to be towards the rear of the building;
- This corner would continue to feel unsafe;
- The proposal would only serve the playground or open gardens – not both;
- Existing café would need to be closed whilst the new building is built;
- Building would continue to be shaded, cold and less inviting in the late afternoons.

49 Moving the building to an off centre position as proposed would:

- Ensure the existing café can remain open during the build period;
- Open up the entrance and views at Walpole Road;
- Building would benefit from sun all day albeit would be naturally shaded by tree;
- Ensure café is accessible to playground and gardens users;
- Provide a positive focal point;
- Cafe on the path is likely to enjoy increased footfall and be more sustainable;
- No resident would significantly lose their view across the gardens;
- Symmetrical and central similar to Conservation Area parks of same era in London;
- Social surveillance by residents on all four sides;
- Maximised visibility with overview of play park, ball court, events and growing space;
- Allow a clear route to the crossing point on Walpole Road encourage cycling and walking.

50 The Councils Urban Design Officer welcomes these changes and feels that they overcome many of the issues raised previously. In so doing, it is noted the building has been moved slightly though it remains in an 'off centre' position. As the building would be wider than the Joy Café and more centrally located, it would affect the character of the park and conservation area and impact on openness. That said, there are certain advantages to the proposed siting that could not be achieved closer to the periphery. In particular the location would help the whole park feel safe and more inviting at different times of day. Additionally, proximity to the growing area and open space would create synergy between the building,

food growing and outdoor events. Overall, the benefits of repositioning the building and the supportive comments received add weight to the proposal as submitted. This matter shall be considered further below.

- 51 Concerning the design of the new building, it is a purpose built structure with the applicant advising that the more traditional elements have been chosen to reflect its position within the conservation area; however no further details are provided. In response, concerns have been raised regarding its utilitarian appearance and 'rear' elevation that would be visible given the central location shown. This elevation has been improved with the amended plans with the introduction of signage and more generous windows. Open chain security shutters are proposed which would maintain a positive appearance when the building is closed. The Urban Design Officer also advises that the graphite grey cladding would relate well to the character of the conservation area and would provide a 'timeless appearance'. Timber cladding as suggested by the café operator could also work well; further details regarding the proposed materials could be secured by condition if planning permission is granted. The Conservation Officer similarly concludes that there is an improvement to the design of the building with increased glazing and a more balanced appearance, but concerns remain as to its size and central location. These concerns would need to be weighed against the public benefits of the scheme.
- 52 Concerning the size of the building, it would be larger albeit would comprise a purpose built structure unlike the existing building that has been converted. The existing building provides table seating, a toilet, storage areas and a kitchen and the proposal would replicate these facilities and providing educational space. The structure would offer an improvement on the existing facility and there is no objection in principle to its size subject to considerations of openness having regard to the character and the appearance of the conservation area.
- 53 On other matters, removal of the dog exercise enclosure as well as the path and fence from the community building to the corner of Churchill Road is positive; this simplification better responds to pre-application advice and residents' concerns. The location of the growing area that previously straddled the path is improved. Following these changes, there is a better balance between minimising clutter while providing facilities that would benefit local people and be well used.
- 54 The new diagonal path would be more convenient and feel safer given the lighting, additional width and community building location. This should be a shared path with cyclists as the path is an important desire line towards the centre of Boscombe for pedestrians and cyclists. Signage could be set in the ground to avoid adding clutter. These details could form the basis of an appropriately worded condition if approved. Lighting details should also form the basis of a condition; in this regard it is queried whether as many streetlamps as shown are required. The proposed book exchanges and bug hotels shown on the site layout plans and which would comprise small ancillary structures are considered to be acceptable with full details to be secured by condition as suggested by the conservation officer.
- 55 On the issue of security, comments from the Dorset Police support the concept of trying to improve this Community Open Space. Due to the level of attacks on the existing cafe, and the destruction caused at other facilities, it is hoped that the central building would have high security standard doors and windows, preferably incorporating an intruder alarm. Hopefully with a clear view across from all the surrounding properties, there would be enough community focus to deter anti-social behaviour. CCTV isn't specifically requested.

- 56 In summary, the amended plans overcome many of the objections that have been raised and have received a more favourable third party response. Concerns remain however regarding the central position of the building which would impact on the openness of Churchill Gardens and which is noted to comprise a key attribute of the Conservation Area. This harm would be exacerbated by the increased size of the building.
- 57 Paragraphs 193 to 202 of the NPPF relate to the assessment of the potential impacts of a proposal on heritage assets. As noted, paragraph 196 states that *‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.’* As noted, the Neighbourhood Plan highlights that Churchill Gardens are a well used local facility but suffer problems of anti-social behaviour and there is potential for more features to attract a wider age range. It is acknowledged also that the gardens are tired and rundown in appearance and require investment. The current application would help to facilitate this investment providing a new building that would be accessible and useable by more people. It would also help discourage problems of anti-social behaviour and help users feel safer. In so doing, the proposal should help to increase the number of persons utilising this facility. In this way, the proposal would reflect the requirements of CS39 that seeks to protect heritage assets from inappropriate alterations, extensions or other alterations that would adversely affect their significance given the enhancement that would be achieved. These considerations carry significant weight and are considered to outweigh the more limited harm associated with the new location for the building (which is acknowledged to have pros and cons) having regard to issues of openness. This also reflects the conclusions of the Design Officer who advises that overall, the benefits justify the new location, especially as the community appears now more supportive.
- 58 Accordingly, the proposal accords with CS5 which states that the Council will seek to ensure that the health of the community is promoted through inclusive, accessible, safe and well-designed development and spaces. It further reflects CS6 that seeks to retain and enhance the functions and viability of community facilities that meet day to day needs of a local community and which seeks good design principles for new buildings and how spaces are treated thus also complying with CS41. Overall, the proposal works to retain and enhance features of Churchill Gardens that contribute to local distinctiveness, character and, heritage. As noted, the proposal would also reflect the aspirations of the Boscombe and Pokesdown Neighbourhood Plan in respect of Churchill Gardens and in so doing reflect the policy aspirations of BAP1, BAP2 and BAP4 which seeks to enhance the appearance and character of open spaces taking account of all ages and users, provide new lighting that designs out crime, through the promotion of community gardens and by improving public access.
- 59 With regards to those concerns relating to the reduction in size of the enclosed playground, the revised plans ensure that the playground would be of a more comparable size compared to the existing whilst the applicant has confirmed that new playpark equipment would be installed with a higher play value. On the basis of the revised plans, the application is thus acceptable in this respect compliant with CS31 which seeks to resist the playgrounds, and which seeks to ensure that the quality and quantity of open space and playgrounds meets the demand for sporting and recreational activities. In so doing, the proposal would also be compliant with planning policy 7.10 and paragraph 197 of the NPPF.

Trees

- 60 The Council's Tree Officer has raised no objections to these proposals subject to a condition requiring full compliance with the submitted arboricultural method statement albeit which would need to be updated to reflect the amended plans; the Tree Officer is happy for this to be conditioned. Conditions requiring a detailed soft landscaping scheme that includes tree planting and a condition for a soft landscape maintenance scheme are also requested. On this basis, the proposal is considered to comply with policy 4.25.

Biodiversity

- 61 In response to the concerns raised, hedgehogs are a priority nature conservation species as listed under Natural Environment and Rural Communities Act 2006, due to their decline in numbers consideration of how this development might aid this species should be considered.
- 62 The Council's Biodiversity Officer advises that on a site open to the public with dogs, providing hibernation sites poses a risk that they would be vulnerable to the actions of dogs and not be successful, so features to promote hedgehog are not recommended here. However, there are actions that may be undertaken that improve their ability to move around this site and forage for food. Hedgehog often move along linear features, so in fill planting of existing shrubs and tree lines would help and provide cover and additional sources of food. Mix of grass management with areas of short and long grass and creation wildflower areas are beneficial, as this diversity provides a range of microhabitats supporting range of invertebrates for hedgehogs to feed on. These actions are set out in the Design and Access Statement, by way of wildflower meadows, mixed borders and in fill planting. In the detail design of these elements there should be consideration of how they may be improved to maximise benefit to hedgehogs. This could feed into the condition suggested above. For these reasons, the proposal is compliant with policy CS35.

Residential Amenity

- 63 The proposal would improve the amenities and outlook of local residents and it is not considered that any significant adverse impact in residential amenity would be caused. This is subject to similar conditions that were attached to the previous permission for the existing building as referenced above. Further, the proposals have been assessed by the Council's Environmental Health Officer who advises that whilst the applicant has not really provided any details relating to the extract system, it appears to be a suitable distance from residential properties so as not to create a noise nuisance. Typically, similar council operated cafes have cooker hood mounted extract systems which are not known to have caused too many issues. The type of foods which appear to be cooked also would not warrant a unit with integrated odour control or carbon bag filters. No concerns are also raised with regards to the suggested closing time. A condition is requested re extraction equipment which is considered to be acceptable in this instance given the small scale of the proposal and its distance from any neighbouring properties.

Highways

- 64 The Local Highway Authority raise no objection advising there would be no material increase/change in the character of traffic within the vicinity of the site. A condition is requested re cycle parking (to be adjusted to reflect the comments of the Heritage Officer).

Refuse and Recycling

- 65 The proposal meets the requirements of the Waste Collection Authority although a Waste Management Plan is required, and which can be conditioned of permission is granted. With regards to requests for more bins/ recycling facilities, refuse is collected by BCP Council and this issue will be considered further by the Waste Collection Authority independently of this planning application.

Summary

- 66 The proposal would provide a new purpose built community/ café building and facilitate improvements to Churchill Gardens.

Planning Balance

- 67 The application would facilitate investment into Churchill Gardens and provide improved and more accessible facilities that would also help to attract additional users, improve safety and discourage problems of anti-social behaviour. These considerations carry significant weight and accord with planning policy aspirations for Churchill Gardens. Harm has however been identified having regard to the new position of the building and its impact on the openness of Churchill Gardens. This harm has been reduced by the revised plans submitted and overall, it is adjudged that the public benefits associated with the scheme would outweigh this more limited harm.
- 68 Therefore, having considered the appropriate development plan policies and other material considerations, including the NPPF, it is considered that subject to compliance with the conditions attached to this permission, the development would be in accordance with the Development Plan, would not materially harm the character or appearance of the area or the amenities of neighbouring and proposed occupiers and would be acceptable in terms of traffic safety and convenience. The Development Plan Policies considered in reaching this decision are set out above.

Recommendation

- 69 **GRANT** planning permission with the following conditions, which are subject to alteration/ addition by the Head of Planning Services provided any alteration/ addition does not go to the core of the decision:

1. Development to be carried out in accordance with plans as listed

The development hereby permitted shall be carried out in accordance with the following approved plans:

Site Location Plan; drg no. WR12 Rev B

Proposed Site Layout Plan; drg no. WR13 Rev C

Existing Site Plan; drg no. WR14

Proposed Elevations and Floor Plan; drg no. AIC 02/19 Rev 8

Reason: For the avoidance of doubt and in the interests of proper planning.

2. Prior Approval of Materials (External Facing Materials)

Details/samples of the external facing materials including signage and security shutters of the proposed building shall be submitted to and approved in writing by the Local Planning Authority prior to the commencement of any superstructure works on site. Development shall be carried out in accordance with the approved details.

Reason: To ensure a satisfactory visual relationship between the existing and the new development in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012) and BAP4 of the Boscombe and Pokesdown Neighbourhood Plan (November 2019).

3. Cafe/ Community only

The premises shall be used for purposes comprising both a cafe and community use (Sui Generis) of the Town and Country Planning (Use Classes) Order 1987 only and for no other purpose including solely as a cafe (Use Class A3).

Reason: To ensure that the building continues to be used for community purposes in accordance with Policy CS12 of the Bournemouth Local Plan: Core Strategy (October 2012).

4. Hours of Use (Community)

The community use hereby permitted shall not operate outside the following times: 08:00 hours and 22:00 hours.

Reason: To safeguard the amenities of occupiers of adjoining and nearby properties and in accordance with Policies CS38 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

5. Hours of Use (Cafe)

The café use hereby permitted shall not be open to customers outside the following times: 08:00 hours and 20:00 hours

Reason: To safeguard the amenities of occupiers of adjoining and nearby properties and in accordance with Policies CS38 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

6. Clear site of existing buildings

The existing building (Joy Cafe) (shown in red on drawing WR14) shall be demolished and the resultant debris removed from the site within 2 months of the building hereby approved being open to the public.

Reason: To safeguard the openness of Churchill Gardens and in the interests of good design in accordance with Policies CS39 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012) and BAP4 of the Boscombe and Pokesdown Neighbourhood Plan (November 2019).

7. Restriction of noise from plant and equipment

The rating level of any noise generated by extract ventilation and air conditioning plant & equipment as part of the development shall be at least 5 dB below the pre-existing background level as determined by BS4142: 2014-"Method of rating industrial noise affecting mixed residential and industrial areas".

Reason: To protect the amenities of the area and the occupiers of adjoining properties all in accordance with Policies CS38 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

8. No Amplified Music

No amplified music shall be played, nor any public address system be used either inside the premises or within the adjoining area of the playground as shown on drawing WR13 Rev C.

Reason: To safeguard the interests of occupiers of adjoining and nearby residential properties in accordance with Policies CS38 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

9. Ancillary Structures

Prior to their installation, the design and detailing of the book exchanges and bug hotel shown on drawing WR13 Rev C shall be submitted to and approved in writing by the Local Planning Authority. Development shall strictly accord with these approved details.

Reason: To safeguard the amenities of the area and the character and the appearance of the Conservation Area all to accord with Policies CS39 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012) and BAP4 of the Boscombe and Pokesdown Neighbourhood Plan (November 2019).

10. Lighting

Notwithstanding the submitted details, prior to installation of external lighting on site, the design, position and illumination details shall be submitted to and approved in writing by the Local Planning Authority. Thereafter, the lighting shall be installed in accordance with a timetable of works to be agreed in writing with the Local Planning Authority and shall thereafter be fully maintained and utilised.

Reason: To safeguard the amenities of the area and to promote public safety in accordance with Policies CS38, CS39 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012) and BAP4 of the Boscombe and Pokesdown Neighbourhood Plan (November 2019).

11. Arboricultural Method Statement

Prior to the commencement of development, an updated Arboricultural Method Statement shall be submitted to and agreed in writing by the Local Planning Authority. Development shall thereafter accord in full with these agreed details.

Reason: To ensure that trees and other vegetation to be retained are not damaged during construction works and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002).

12. Soft Landscaping - larger developments

Within 3 months of the date of commencement of the development, full details of soft landscape works shall be submitted to and approved in writing by the Local Planning Authority. Soft landscaping details shall include: (a) planting plans; (b) existing trees, hedges and shrubs to be retained; (c) written specifications (including cultivation and other operations associated with plant and grass establishment); (d) schedules of plants noting species, plant sizes and proposed numbers/densities; and (e) programme of implementation.

These soft landscaping proposals shall also make suitable provision for hedgehogs. The approved soft landscape scheme shall be implemented in full in accordance with a timetable to be agreed in writing with the Local Planning Authority and permanently retained unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the proposed development includes a properly designed scheme of landscaping in the interests of visual amenity and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002) and Policies CS35 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

13. Landscape Maintenance

Within three months of the commencement of the development hereby permitted or such other time period as is agreed in writing by the Local Planning Authority, full details of a landscape maintenance plan for a minimum period of 5 years shall be submitted to and approved in writing by the Local Planning Authority. The plan shall include details of the arrangements for its implementation. The landscape management plan shall be carried out in accordance with the approved details.

Reason: To ensure that the proposed development includes a long-term management plan for the landscaped areas in the interests of visual amenity and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002) and Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

14. Boundary /Subdivision Treatment (Location & Type to be approved)

Within three months of the commencement of the development hereby permitted or such other time period as is agreed in writing by the Local Planning Authority, full details of all new fencing boundary shall be submitted to and approved in writing by the Local Planning Authority. Details shall include a plan showing: the positions, height, design, and materials. The approved fencing shall thereafter be implemented in full in accordance with a timetable of works to be agreed in writing by the Local Planning Authority.

Reason: In the interests of amenity and privacy and in accordance with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

15. Hard Landscaping - larger developments

Within three months of the commencement of the development hereby permitted or such other time period as is agreed in writing by the Local Planning Authority, full details of hard landscape works shall be submitted to and approved in writing by the Local Planning Authority. Hard landscape details shall include: (a) Lighting; (b) Bollards; (c) Seating; (d) Tree grills; (e) Other street furniture; (f) construction and services details in proximity to trees; (g) proposed finished levels and contours, and (h) a timetable for implementation. The approved hard landscape scheme shall be implemented in full prior to the occupation or use of the development commencing and permanently retained unless otherwise agreed in writing by the Local Planning Authority.

Reason: To ensure that the proposed development includes a properly designed scheme of landscaping in the interests of visual amenity and to accord with Policy 4.25 of the Bournemouth District Wide Local Plan (February 2002) and Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

16. Cycle Parking to be installed prior to occupation.

Notwithstanding the details submitted, prior to the commencement of development, the position and design of cycle storage shall be submitted to and agreed in writing by the Local Planning Authority. Thereafter, the cycle parking shall be installed as shown on the approved plans and retained, maintained and kept available for visitors and staff of the development at all times.

Reason: To promote the cycling mode of transport and in accordance with Policy CS18 of the Bournemouth Local Plan Core Strategy (October 2012).

17. Path Details

Prior to the commencement of development, specification and signage details for the shared cycle path/ foot path running diagonally across the site shall be submitted to and approved in writing by the Local Planning Authority. Development shall thereafter accord with these approved details.

Reason: In the interests of safety, visual amenity and to ensure that the proposed development provides for sustainable modes of travel all to accord with Policies CS18, CS39 and CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

18. Provision of a Refuse Management Plan

The development hereby permitted shall not be occupied until a Refuse Management Plan has been submitted to and approved in writing by the Local Planning Authority. The refuse management plan shall be carried out in accordance with the approved details, unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure that the proposed development includes a long-term management plan for the collection of refuse in the interests of visual and residential amenities, and to accord with Policy CS41 of the Bournemouth Local Plan: Core Strategy (October 2012).

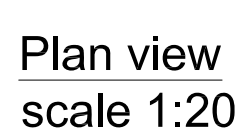
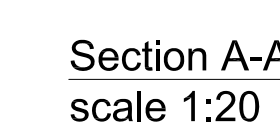
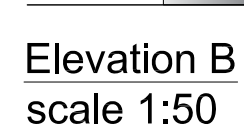
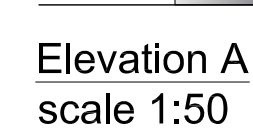
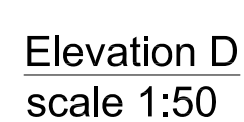
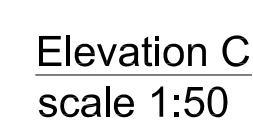
19. Informative Note: No storage of materials on footway/highway

INFORMATIVE NOTE: The applicant is advised that there should be no storage of any equipment, machinery or materials on the footway/highway this includes verges and/or shrub borders or beneath the crown spread of Council owned trees.

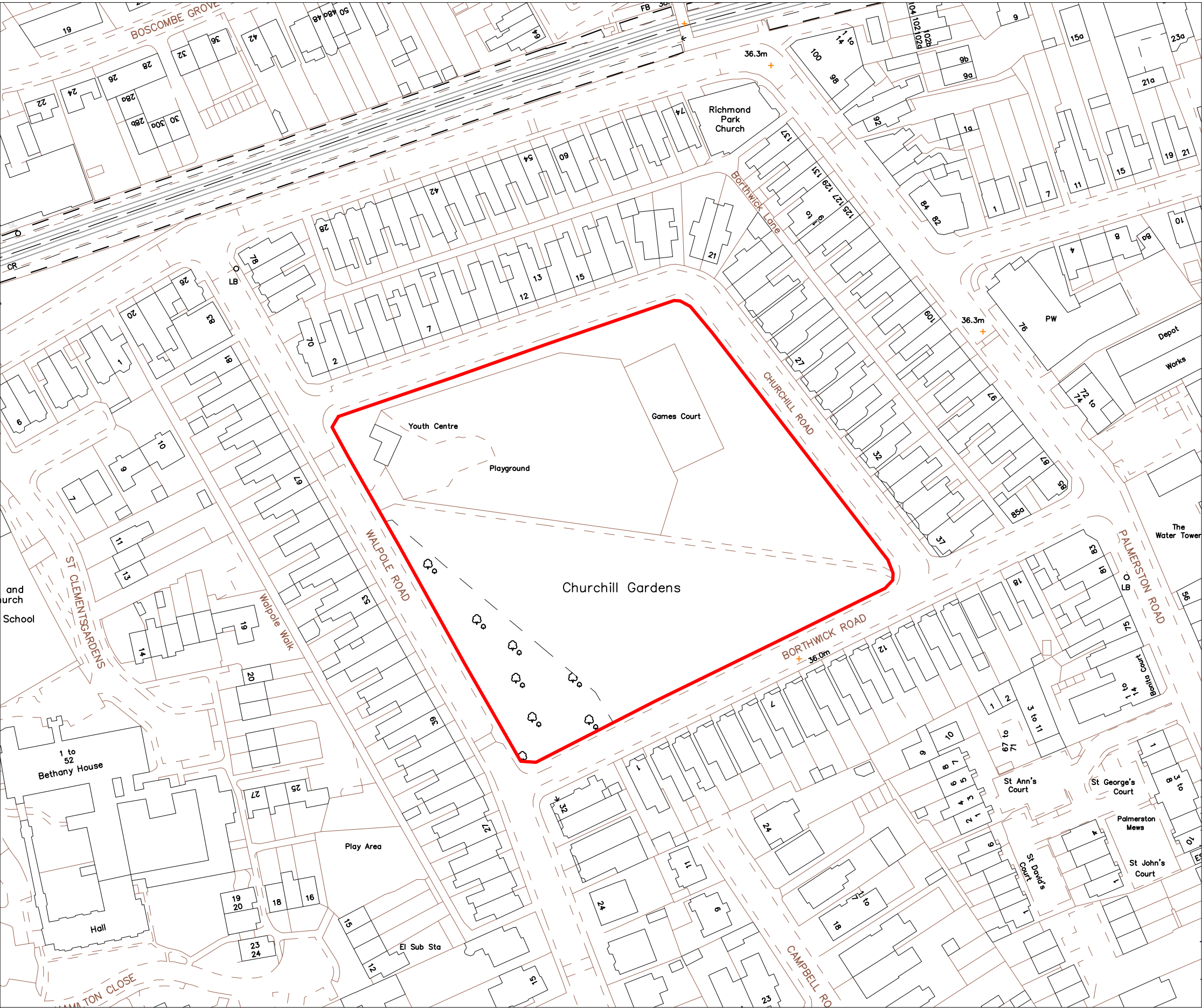
20. Statement required by National Planning Policy Framework (APPROVALS)

In accordance with paragraph 38 of the revised NPPF the Council, as Local Planning Authority, takes a positive and proactive approach to development proposals focused on solutions. The Council works with applicants/agents in a positive and proactive manner by offering a pre-application advice service, and as appropriate updating applicants/agents of any issues that may arise in the processing of their application and where possible suggesting solutions.

In this instance the agent was provided with the opportunity to address the concerns raised and planning permission was granted



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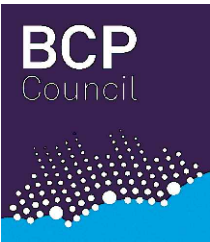


KEY



Site location

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BCP Council
Environment, Parks

Director: L. Austin

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PROJECT
CHURCHILL_GARDENS
DRAWING TITLE

REPLACEMENT_COMMUNITY_HUB

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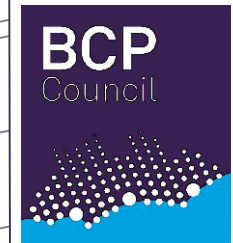
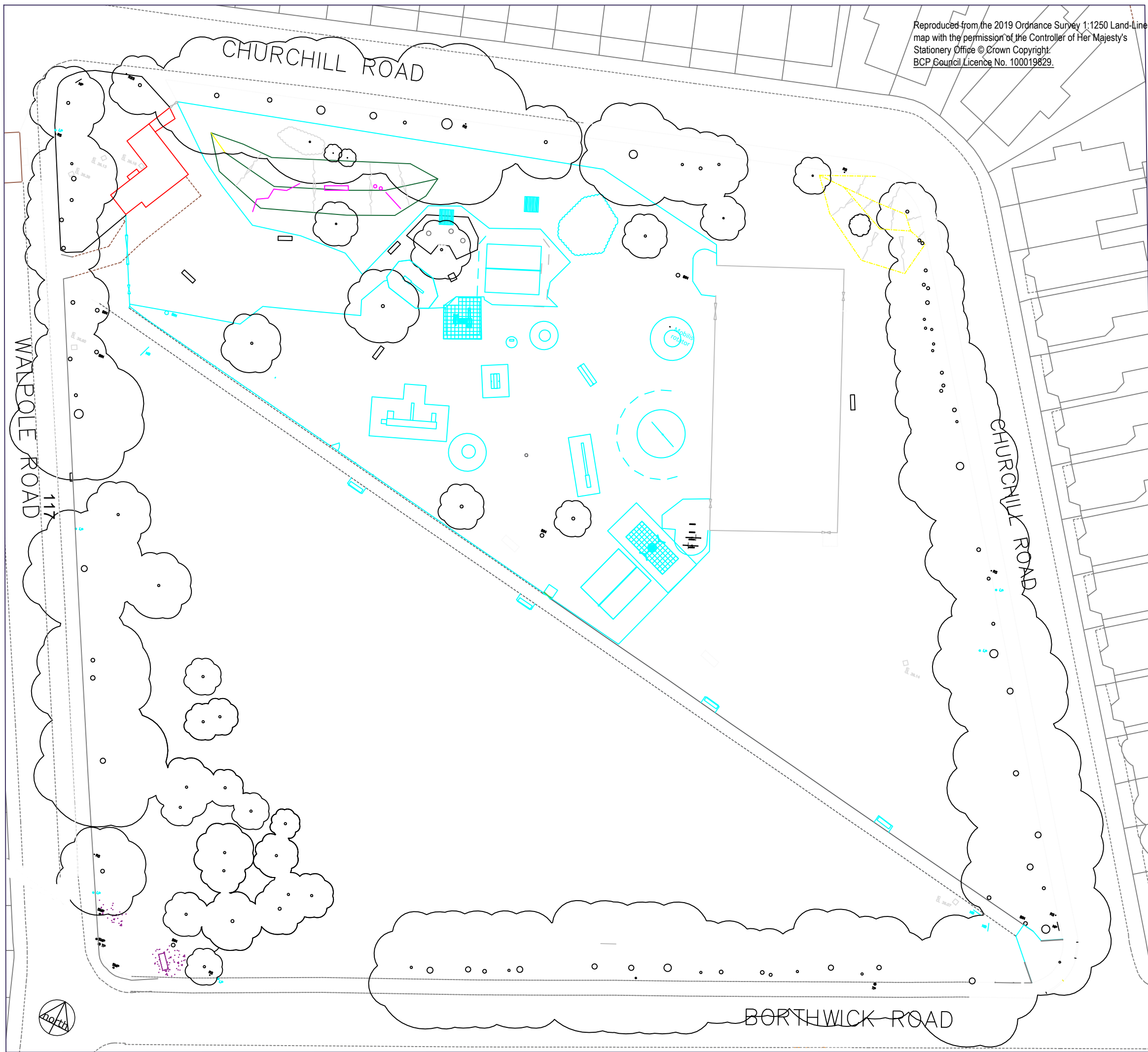
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Existing building to demolish

Existing play equipment for refurbishment



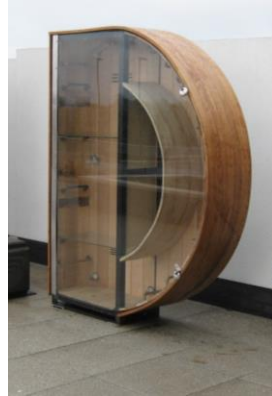
BCP Council
Environment, Parks

Director: L. Austin

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| 1:500 | 07.07.2020 | JVB JVB |
| PROJECT NO | DRAWING NUMBER | REVISION |
| CG | WR14 | |

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APPENDIX 4 - CHURCHILL GARDENS – Additional supporting images



Example of entrance features showing artistic bug hotels and book exchange cupboard made as a community project



Open chain security shutters (image from the suppliers) proposal is for shutters to be colour matched to the panels.

Russell Square



Lincoln Inn Fields



St James Square



Lincoln Inn Fields 1889

APPENDIX 4 - CHURCHILL GARDENS – Proposed images viewpoint location



Please see Design & Access
Statement Appendix 3 for
corresponding original views

APPENDIX 4 - CHURCHILL GARDENS – Proposed images



**View 2 from the corner of Churchill
Gardens and Walpole Road**

APPENDIX 4 - CHURCHILL GARDENS – Proposed images



View 4 Walpole Road

APPENDIX 4 - CHURCHILL GARDENS – Proposed images



View 5 from the corner of Borthwick
and Walpole Road

APPENDIX 4 - CHURCHILL GARDENS – Proposed images



View 7 close up image from
Borthwick and Churchill Road
corner

APPENDIX 4 - CHURCHILL GARDENS – Proposed images



View 7 from Borthwick and Churchill Road corner. Note new path realignment through the trees and extra space gained to the left. (Joy café is still shown, though will be demolished on opening of the new building)


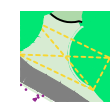


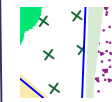


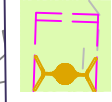

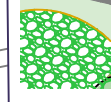
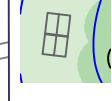

APPENDIX 4 - CHURCHILL GARDENS – Proposed images

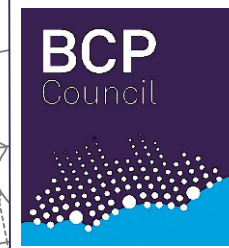


View 8 from the north side of
Churchill Road corner



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-  Proposed perimeter broadleaf tree
-  Proposed timber street fitness location on proposed circular route. Path in porous material, no dig construction as necessary.
-  Proposed flower meadow with bughotel/ book exchange/grown produce entrance feature
-  Proposed flower meadow area
-  Proposed growing area and orchard, raised timber beds to be designed and built by the growing group
-  Proposed porous coloured asphalt access path. No dig construction. Terrace material tbc.
-  Proposed community building
-  Future refurbished play area. Wooden play equipment location and content, picnic benches and wildflower areas to be consulted on. Re-use black bowtop fencing.
-  New black 5m lamp column with timer. Victorian styling.
-  Proposed mixed border, maintained with gardening club volunteers.
-  Weatherproof table-tennis managed by cafe. Bike racks.
-  Bike racks.



BCP Council
Environment, Parks
Director: L. Austin

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| C | North path removed to enlarge play. Building moved to west | JVB | 15.10.2020 |
| B | Central path revised to enlarge play. Orchard revised | JVB | 01.07.2020 |
| A | Kiosk moved 6m from tree. Orchard and planters adjusted | JVB | 05.03.2020 |
| Rev | | DRAWN BY | DATE |

PROJECT

CHURCHILL_GARDENS_ASPIRE

DRAWING TITLE

REPLACEMENT_COMMUNITY_HUB

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| SCALE AT A3 | DATE | DRAWN BY | CHECKED BY |
| 1:500 | 18.12.2019 | JVB | JVB |
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PLANNING COMMITTEE

| | |
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| Application Address | 20 Chewton Farm Road Christchurch BH23 5QN |
| Proposal | Demolition of existing dwelling and erection of 14 apartments with underground parking |
| Application Number | 8/20/0752/OUT |
| Applicant | Fortitudo Ltd |
| Agent | Chapman Lily Planning Ltd |
| Date Application Valid | 24 September 2020 |
| Decision Due Date | 24 December 2020 |
| Extension of Time Date (if applicable) | |
| Ward | Highcliffe & Walkford |
| Report status | Public |
| Meeting date | 17 December 2020 |
| Recommendation | Approve subject to conditions and Unilateral Undertaking |
| Reason for Referral to Planning Committee | Number of objections has exceeded the 20 letter trigger |
| Case Officer | Sophie Mawdsley |

Description of Development

1. The application seeks outline permission for the demolition of the existing dwelling and the erection of a 3 storey building to accommodate 14 x 1 and 2 bed apartments with underground parking for 15 vehicles.
2. It is an outline application with approval sought for access, appearance, layout and scale at the outline stage. Landscaping is the only reserved matter.

3. The previous two applications on the site raised concerns with the impact of the development on the visual amenities and character and appearance of the locality. This current proposal is a response to the previous concerns raised, specifically in relation to the level of hardstanding and parking at the front of the site.
4. The gables on the front elevation measure 10.9m in height with the central ridge measuring 10m. The eaves on the side of the building measure 6.9m in height. The lower section at the rear has a ridge height of 9.5m.

Key Issues

5. The main considerations involved with this application are:
 - Principle of the development
 - Type and size of housing
 - Design, form, scale and layout
 - Impact on residential amenities
 - Access and highway arrangements
 - Impact on the trees and landscape
 - Biodiversity and Heathland mitigation
 - Surface water drainage

Planning Policies

Development Plan:

6. Christchurch and East Dorset Core Strategy 2014
 - KS1: Presumption in favour of sustainable development
 - KS2: Settlement Hierarchy
 - KS4: Housing Provision
 - KS11: Transport and Development
 - KS12: Parking Provision
 - HE2: Design of New Development
 - HE3: Landscape Quality
 - LN1: Size and type of new dwellings
 - LN2: Design, Layout and Density of New Housing Development
 - ME1: Safeguarding Biodiversity and Geodiversity
 - ME2: Protection of Dorset Heathlands
 - ME3: Sustainable Development Standards for New Development

Christchurch Borough Council Local Plan (2001) – Saved Policies

H9: Chewton Farm Estate

H12: Residential Infill

Supplementary Planning Documents:

- Dorset Heathlands Planning Framework SPD 2020
- Christchurch Borough-wide Character Assessment (2003)

The National Planning Policy Framework (2019)

7. Paragraph 11 sets out the presumption in favour of sustainable development.

Development plan proposals that accord with the development plan should be approved without delay. Where the development plan is absent, silent or relevant policies are out-of-date then permission should be granted unless any adverse impacts of approval would significantly and demonstrably outweigh the benefits when assessed against the NPPF. The relevant sections are;

Section 2 Achieving sustainable development

Section 5 Delivering a sufficient supply of homes

Section 12 Achieving well-designed places

Section 15 Conserving and enhancing the natural environment

Relevant Planning Applications and Appeals

8/20/0189 - Demolition of existing dwelling and erection of 14 apartments. Non-determination Appeal. Withdrawn.

An Appeal Statement was submitted by the Local Planning Authority recommending the application be refused due to the impact of the development on the character and appearance and visual amenities of the locality, contrary to policy HE2 and saved policy H9.

8/20/0691 - Demolition of existing dwelling and erection of 14 apartments. Withdrawn

Representations

8. 81 Objections have been received to the proposal on the following grounds;

- Incongruous development
- Flats out of character on Chewton Estate
- Cramming form of development and urbanisation
- Do not need more flats
- Increase traffic and parking on the road
- Chewton Farm Road unable to cope with additional vehicles

- Visually harm semi-rural road
- Excavation for underground parking result in noise and disturbance
- No footpaths and poorly lit on Chewton Farm Road
- Ruin ambience of area
- Overdevelopment and overbearing
- Building taller than others on road
- Visually intrusive and incompatible
- Highway safety issues on local roads, pedestrians and cyclists at danger
- Minimal change from 2 previous applications
- Underground parking does not solve problems with proposal
- No provision for visitors, deliveries and trades people
- Area is for family homes and gardens
- Loss of trees and open space
- Overlooking and loss of privacy
- Loss of light
- Impact the overall living environment
- Bulk and position of building inappropriate
- Underground parking increases scale and bulk of building
- Removal of soil cause flooding
- Contrary to policies HE2 and H9
- Wildlife rich area
- Decline in wildlife in area and within gardens
- Road has a 7.5 tonne limit so road will require re-surfacing
- Loss of existing beautiful bungalow
- Set a precedent
- In breach of covenants
- Threat to security of local residents
- Carbon footprint greatly increased
- Plans misleading
- Technical issues with the ramp and underground parking

- Mechanical ventilation to underground parking cause harm to neighbouring occupiers
- No benefits to wider community or local services
- Proposal does not address housing needs
- Policy H9 not related to housing supply

9. 21 representations of support have been received on the following grounds;

- Support redevelopment of brownfield sites
- Contribution towards housing targets
- Makes efficient use of land
- Energy efficiency and environmental benefits

Consultations

- **Natural England** - None received
- **BCP Trees & Landscaping**

10. The prominent trees on site are Oaks (T001+T003+T004), as per the submitted Tree Report ref: Chewton Farm Road 20 0281911/4, dated 25/09/20 and acknowledged in the Tree and Landscape Officer's comments dated 10/07 and 09/10/20. The proposed apartments and underground parking will be sited outside the root protection area of these trees and set back from them, not to cause future conflict with the built-form and established trees.

11. The removal of Oak (T002) due to its declining health provides an opportunity to plant new trees. The Officer agrees with the Report's suggested planting of one English Oak and one Sweet Chestnut and recommends that these are planted at the front of the site. This will enhance the sylvan character along Chewton Farm Road.

- **BCP Highways**

12. Chewton Farm Road is a traffic calmed street on the edge of Walkford and appears to be a popular alternative route between Highcliffe and New Milton. There are currently no footways along Chewton Farm Road, instead grassed verges line the road.

13. The proposed access includes the widening of the existing access on Chewton Farm Road. Visibility appears to be suitable for both vehicle – pedestrian visibility (with 2m x 2m visibility provided) and for vehicular visibility splays.

14. The development proposes 15 allocated car parking spaces under the main building and three visitor bays at ground level. The Christchurch parking standards indicate this is a "suburban" area. The parking bays under the

building appear to be on an allocated basis. A visitor requirement of three spaces is provided for as part of the proposals. Consequently, the scheme accords with the parking standards.

15. Parking bays provided are 2.6m x 5m, meeting the required guidelines considered to be acceptable by the Highway Authority (BCP Council). For end of aisle bays additional overhang room has been provided to allow for ease of exit and ensure the bays are used. A 6m aisle width has been provided enabling sufficient turning and manoeuvring spaces for vehicles entering and exiting the parking spaces. Sufficient appropriate transition ramps are included along between the underground parking area and ground level.
16. 12 cycle parking spaces have been provided in line with the minimum cycle parking standards, albeit located at the rear of the site. Cycle parking should be located in a convenient position to encourage uptake of cycling within the proposed development. The cycle store could be integrated below the main building if the basement was enlarged slightly to accommodate it thereby reducing the amount of hard landscaping.
17. Within the current proposals, the path to the cycle storage is long (~25m) with a 1.5m wide path. A hinged door system is provided. An enlarged waiting area to the front of the cycle store has been included to ease use of the store. A staircase into the basement is provided immediately adjacent the cycle store. A solitary Sheffield stand has been provided close to the entrance for visitor parking.
18. A purpose-built bin store is proposed on the north boundary, approximately 11m from the site entrance. This exceeds the council's collection maximum pull distance policy. The bin store should be relocated closer to the site entrance if on street collection is to proceed, alternatively swept path analysis should be provided to confirm that a private contractor refuse vehicle can enter and exit the site in forward gear with sufficient manoeuvring space. Alternatively, a condition requiring private collection would be satisfactory.

- **BCP Lead Flood Authority**

19. As this is for the erection of 14 apartments it is classed as a major development and therefore needs to comply with Department for Environment, Food and Rural Affairs, Sustainable Drainage Systems - Non-statutory technical standards for sustainable drainage systems dated March 2015.
20. The application form states that surface water will be disposed of to a soakaway which is fine (although it is slightly concerning that it is unknown what they intend to do with the foul sewage).
21. Plan 100(version G) shows "something" out the front simply referred to as a "Suds system design TBC by specialist engineer" which is not very helpful BUT it does show that there is room to get a soakaway in that would comply with the

Building regulations. However the Drainage Strategy now includes the site investigation report which has identified actual soil infiltration rates on which to base an outline design and as such I am satisfied that a SuDs system can be provided.

22. I have no objections to this application from flooding / drainage point of view but I would ask that our normal SuDs condition is included in any approval because we should see/approve the final detail but it shouldn't be a problem.
23. Looking at the various data sources I would agree with the Drainage Strategy statement that there is not any significant flood risk. (See section 7.1 of the Planning, Design and Access Statement Incorporating an Energy Statement.)

- **BCP Waste and Recycling**

24. The orientation of the bins on plan fails to meet our guidelines, also the internal height and door width unless the design allows two complete segments to slide open simultaneously. The bin pull distance exceeds our 10m guideline. The application fails to meet the requirements of the WCA, however with an RMP detailing either a private collection service or for council collections with a suitable presentation point created and caretaker presentation and return to store conditioned in a grant of planning permission: No objection

Constraints

- SSSI Impact Risk Zone
- Highways Inspected Network
- Green Belt (adjacent)
- Airport Safeguarding
- Wessex Water Sewer Flooding
- Dorset Minerals Consultation Area - 49.96m
- Tree Preservation Order

Planning Assessment

Site and Surroundings

25. The site is currently occupied by a large detached characterful bungalow set within a large verdant plot on the northern side of Chewton Farm Road. The property is set at an angle to the front boundary and forward of the adjacent property at No 16.
26. The locality has a sylvan character site and there are substantial trees within the plots and in particular along the frontages of sites providing a mature spacious suburban character. The site is covered by a Tree Preservation Order (2020 No7). The most notable trees on the site are the three English Oaks; T001 is

located on the north-east corner and T003 and T004 positioned on the front corner of the site and on the south western boundary.

27. Chewton Farm Road is characterised by individual detached properties set within substantial sylvan gardens and with deep frontages. Saved policy H9 of the Christchurch Borough Council Local Plan (2001) has identified this immediate area as having a special character worthy of protecting. To the rear of the site Avenue Road is characterised by a much more typical suburban layout with a more uniform and higher density of properties. The southern side of Avenue Road (backing onto Chewton Farm Road) also lies within the H9 policy area, the northern side does not, although there is no apparent difference in the character in the two sides of Avenue Road.
28. The adopted Christchurch Borough-wide Character Assessment (2003) identifies the site within the NC Area 5c : Chewton Common – Walkford area and states;
- ‘The lines of Ringwood Road and Chewton Common Road represent some of the original routes through the area. Individual cottages front onto the roads giving occasional hints of the earlier development pattern. Individual detached houses front onto the Ringwood Road and Chewton Farm Road again reflecting the pre-estate housing. A small estate of large houses known as Chewton Farm Estate is characterised by more generous garden plots, and a small scale private roadway.’

Principle of development

29. There is a presumption in favour of sustainable development within the NPPF. Paragraph 11 of the NPPF states that where policies which are most important for determining the application are out of date, planning permission must be granted unless policies in the Framework provide a clear reason for refusing the development proposals. Following the publication of the Housing Delivery Test in February 2019, the Council cannot currently demonstrate a five year land supply with a 20% buffer applied. In high level terms, the Housing Delivery Test compares the net homes delivered over three years to the homes that should have been built over the same period (the housing requirement).
30. The ‘5 Year Housing Land Supply’ document has been updated in 2020 and now only considers the housing supply in the former Christchurch Borough Council area of the adopted Core Strategy (2014). The document confirms that in the next five years of the plan period, the housing supply is 1,668 set against a target of 2,094. This results in a shortfall of 426 dwellings over the Core Strategy target which includes a 20% buffer and the previous shortfall of the Core Strategy target. This equates to a 5 year supply of **3.98 years**.
31. It is recognised that as the site is not designated or relates to any of the policies as set out in footnote 6 of paragraph 11 of the NPPF (2019), the presumption in favour of sustainable development is engaged and the tilted balance applies to the scheme;

*For **decision-taking** this means:*

(c) Approving development proposals that accord with an up-to-date development plan without delay; or

(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date ⁷, granting permission unless:

(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed⁶; or

(ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

32. NPPF Section 11 is clear that planning should make effective use of land. Paragraph 117 sets out that planning decisions should promote an effective use of land in meeting the need for homes. Paragraph 122 sets out that planning decisions should support development that makes efficient use of land, taking into account the availability of land suitable for accommodating it. The application of the tilted balance affects the weight which the Local Planning Authority can apply to policies such as H9 as such policies are out-of-date when applying the guidance in para.11.

Type and size of properties

33. Policy LN1 refers to the type and size of units. The Strategic Housing Assessment (SHMA 2015) states that 2 and 3 bedroom houses are what is mostly required in the Christchurch area (see Appendix C). The provision of 1 x 1 bed and 13 x 2 bed flats is not considered to technically meet this need. However, given the current housing land supply issues, the provision of 13 relatively spacious two bed units with parking is considered to be acceptable and there is not sufficient justification for refusing the application on based on this ground.
34. The policy also refers to the Housing Quality Indicators. Whilst these have been overtaken by the National Space Standards, they are still referred to in the adopted Local Plan and therefore are a material consideration. The proposed two bed units (4 bedspace) range between 67sqm and 83sqm and the one bed (2 bedspace) flat measures 55sqm. The HQI for Unit Size suggests that for a 4 bedspace unit (2 double bedrooms), the internal space should be between 67sqm and 75sqm and the internal space for a two bedspace (1 double bedroom) unit must be between 45 – 50sqm. Therefore, the proposal is considered to meet the HQI for Unit Sizes and complies with this aspect of Policy LN1.

Affordable Housing

35. Policy LN3 of the Local Plan stipulates that 40% of the units on site should be affordable or a financial contribution in lieu of on-site provision may be acceptable. However, a viability assessment was submitted with the planning application. On the previous application 8/20/0189 the assessment was independently assessed by the Valuation Office Agency and it was concluded there was no viability to provide an affordable housing contribution. This current application, with the inclusion of the underground parking which is an additional cost, is also considered to be unviable by the applicants to provide any affordable housing on site or a contribution to it off site.
36. Given the previous conclusions of the DVS and the subsequent assessment, it is the opinion of the Officers that this proposal is also unviable. Whilst it is regrettable no affordable housing provision is being secured, it has been accepted by the Council in light of policy LN3 and the NPPF which take account of viability issues.

Design, form and layout

37. Core Strategy (CS) Policy LN2 requires that the design and layout of new housing development should maximise the density of development but this is to be to a level which is acceptable for the locality. CS Policy HE2 complements the design requirements in section 7 of the NPPF by requiring that development be compatible with or improve its surroundings in relation to 11 criteria including layout, site coverage, visual impact and relationship to nearby properties.
38. Since the previous scheme, the siting of the building has remained the same; however there have been revisions to the front of the site and in particular the provision of the majority of the car parking at lower ground level under the building. This has enabled the front of the site to be more open with an increased level of soft landscaping and a reduced number of vehicles visible. The spacious character at the front of the site would be retained and it would no longer be dominated by hard surfacing. The intensification of residential use on the site would not be so apparent given the minimal parking visible in the street.
39. Policy H9 refers to Chewton Farm Road and the pre-amble states that this area is worthy of protection and is at risk from infill development due to the potential loss of substantial residential properties in large plots providing large family accommodation which the Plan state is not in abundance throughout the remainder of the Plan area. The policy states development including one or more gardens should not be permitted where it adversely affects the special character and amenity of the established residential area.
40. It is recognised that this policy is nearly 20 years old; however the Core Strategy policy HE2 refers to development being of a high quality, reflecting and enhancing areas of recognised local distinctiveness. Having regard to the policy context and the concerns raised with the previous scheme, it is considered that the current application offers a more sensitive form of development and has responded to objections on the loss of spaciousness at the front of the site and

the extent of parking which would be visible from the street, emphasising the level of accommodation on the site. On balance it is no longer considered that the scheme is contrary to policies H9 and HE2.

41. The design and scale of the building is considered appropriate for the size of the plot and the scale of properties along Chewton Farm Road. The overall ridge height and eaves height respects the heights of the residential properties along the street. It is clearly recognised that the new building is significantly bigger than the existing dormer bungalow on the site; however the plot is large enough to accommodate the new building and there are sufficient separation distances between the proposed building, the boundaries and neighbouring buildings to retain the spacious character of the area. The building steps in towards the rear and has a lower ridge height, reducing the bulk and mass of built form within the rear part of the site. The scheme retains key trees and thereby the characteristic soft frontages of properties within Chewton Farm Road.
42. The design and appearance of the building is also appropriate for this sylvan setting. The gables on the front elevations with the bay windows provide interest and articulation. The originally proposed front dormer windows have been removed which simplifies the roof form and prevents the building looking top heavy. The proposed materials of brick, render, tile hanging and slate roof are traditional in nature and suitable for this location. It is considered the design of the building is compatible with the surroundings.
43. The scheme is considered to comply with the test in Policy HE2 to be compatible with or improve its surroundings in its layout; site coverage; architectural style; scale; bulk; height; materials and visual impact.

Residential Amenities

44. The existing building is set forward on the plot compared to No 16 Chewton Farm Road which is a two storey property to the south west of the application property. The proposed replacement building will maintain this forward position but sit square on the plot and parallel to the road. This would mean the south elevation adjacent to the boundary with No 16 would be highly visible from the adjacent plot and is of a greater scale than the existing dwelling. A number of category C trees would be removed along this boundary so it would open up the views between the plots. The new building would be sited 5 metres from the side boundary. No 16 has a wide plot and deep frontage and as such it is not considered the new building would appear overly intrusive or dominant to warrant refusing the proposal on this new built relationship.
45. There are a number of windows proposed for the south west elevation at ground, first and second floor level to serve bedrooms and bathrooms. These would afford views towards the front of No 16 and their parking area. The sidewall of the garage at No. 16 adjoins the side boundary with the application site. There are two first floor windows above the garage but no windows on the side elevation. The main large windows serving the living spaces of the

proposed flats all face the front or rear of the site. It is therefore considered the development has minimised the impact on the occupiers of No 16 from any potential overlooking or loss of privacy.

46. With regards to No 22, this is a two and half storey property positioned to the north of the application site which has a single storey garage closest to the boundary with the application site. The proposed building lies 4 metres off the boundary but does not project forwards of the front building line of No 22. The proposed building does project further to the rear; however it is stepped in and No 22 is angled away from the side boundary increasing the space between the buildings towards the rear.
47. There is a first floor window on the side elevation of No 22 and proposed bedroom and bathroom windows on the north east elevation of the proposed development. There is approximately 14 metres between the side of the new building and the side of No 22 (excluding the single storey garage). Given the angle and the siting of No 22, the relationship between the windows is considered to be acceptable and would not give rise to overlooking for existing occupiers of No 22 or future occupiers of the flats.
48. The properties to the rear of the site lie within Avenue Road. These properties have long rear gardens. The proposed building is positioned 13.4 metres from the rear boundary and the back to back relationship is approximately 36 metres with No 10a Avenue Road. It is appreciated the new building, due to its 2½-storey scale and height of 9.5 metres (at rear) will be visible from the rear gardens at the rear and there are dormer windows and doors with Juliette balconies on the second floor. However, due to the separation distances, the scheme is considered to minimise any potential loss of privacy.
49. The proposed development will result in a higher level traffic movements to the site than the existing single dwelling. However, with the location of the parking within the basement, it is considered the impacts of these movements within the site would be minimised. The residential use, although of a higher density than existing is compatible within this residential area and it is an acceptable relationship for residential properties to adjoin one another. Due to the size of the building and number of openings, there would be increased light levels on the site. However, as it is for a domestic purpose and again with the parking underground this reduces the requirement for high levels of external lighting at the front of the site.
50. The proposed ramp along the northern boundary to access the parking will increase vehicle movements along this side adjacent to No 22. In order to minimise disturbance to the occupiers, acoustic fencing can be erected along part of this side boundary. This can be secured by condition.
51. It is considered that the proposal will not result in adverse impacts on the residential amenities of the neighbouring occupiers and the siting and design of the building has minimised the impact on the properties to either side of the

appeal site. The scheme is considered to comply with the test in Policy HE2 to be compatible in its relationship to nearby properties including minimising general disturbance to amenity.

Parking and Access arrangements

52. The Dorset Parking Guidelines suggest that 14 allocated spaces are needed along with 3 unallocated spaces and 3 visitor spaces are required. There are 15 spaces shown in the basement and 3 visitor surface parking spaces at the front of the site. This level of provision is considered to be sufficient. There is cycle parking for up to 12 bikes provided in the basement.
53. There are no footpaths along Chewton Farm Road, just grass verges and therefore there is minimal opportunity for safe pedestrian access onto the public highway and access to the facilities within Highcliffe and Walkford. BCP Highways have raised no objection to the level of parking provision and the plans have been updated to take account of the comments made with regards to the location of the cycle parking at basement level.
54. The representations have raised concerns and comments about the level of parking provision and the potential for overspill parking on Chewton Farm Road. Currently there is very minimal parking on the main highway due to the large parking areas within each plot. Objections have also been raised with regards to the layout and construction of the basement parking. BCP Highways have considered the plans and have considered the scheme is acceptable. There is a suggested condition to secure further technical details as part of the reserved matters application and further detailed plans and scrutiny would come under Building Regulation approval to ensure structural integrity of this basement level.
55. It is not considered that the development would result in severe impacts on the local highway network and as such would not be contrary to the NPPF. Furthermore, the level of parking is considered to be sufficient having regard to the current Dorset Parking Guidelines and also the draft BCP 'Parking Standards' SPD 2020 (not currently adopted).

Trees and Landscape

56. As stated above, there is a TPO on the site. The proposal does involve removing a number of category C trees, especially on the south western boundary. The loss of the western red cedar (T005), sycamore (T006), Monterey cypress (T007) and sycamore (T008) will open up the site and as such the development would be more visible as you approach the site from the west. The oak on the front boundary (T002) which is identified as having previous significant work and has poor re-growth will also be felled providing views directly into the front of the site. However, the 4 category A trees are remaining on site, including two English oaks in the front corners of the site will continue to provide the plot with its verdant character.

57. The BCP Tree and Landscape Officer is satisfied with the proposals and is content that the building and parking spaces can be constructed without harm to the trees to be retained with the protection as identified in the Arboricultural Impact and Method Statement and accompanying plans in place.
58. The rear amenity space would not be substantially overshadowed by the remaining trees and as such there would be an acceptable built relationship between the building, amenity areas and protected trees around the boundaries of the site.
59. Full details of the soft and hard landscaping and its management and maintenance will be provided within a reserved matters application. This will provide an opportunity to secure replacement trees within the site, especially on the south western boundary. Condition 9 secures two semi-mature trees to be planted on the site and their location will be agreed with the Local Planning Authority.

Biodiversity and Protected Heathland

60. The application site lies within 5km but beyond 400m of Dorset Heathland which is designated as a Site of Special Scientific Interest and as a European wildlife site. The proposal for net increase in residential units is, in combination with other plans and projects and in the absence of avoidance and mitigation measures, likely to have a significant effect on the site. It has therefore been necessary for the Council, as the appropriate authority, to undertake an appropriate assessment of the implications for the protected site, in view of the site's conservation objectives.
61. Natural England has advised that on a site that lies between 400m and 5km from the SSSIs, an appropriate assessment may reasonably conclude that there would not be an adverse cumulative impact on the integrity of the SSSIs. This is on the basis of the adopted Dorset Heathlands Planning Framework 2015 - 2020 which will provide mitigation against the impacts of new dwellings on the heathland. The Framework requires a financial contribution from the applicant to go towards funding the mitigation measures which are provision of a financial contribution to go towards Strategic Access Management and Monitoring (SAMM) of the SSSIs.
62. The applicant has submitted a draft Unilateral Undertaking to secure the SAMM contribution and once this is fully completed and signed the proposal will be acceptable in terms of its impact on protected heathlands and it would accord with Policy ME2 of the Core Strategy.
63. The planning application was accompanied by an Ecological Appraisal dated February 2020. The survey undertaken on the existing building and garden found evidence of a bat roost and following analysis it was determined Common Pipistrelle bats were using the building. The garden showed no evidence of being suitable habitats for protected species except for nesting birds. A

Mitigation and Enhancement Plan has been submitted and the following mitigation measures will be introduced into the scheme;

- Create crevice habitat on the new building with roost features to the west, south and east.
- Bird nesting opportunities on retained trees in the garden
- Bat tiles and bat tubes
- Sympathetic lighting scheme

64. However, further survey work is required prior to any demolition of the building including 2 additional bat activity surveys to establish the nature of the bat population and current use of the building by bats. This could affect whether a European Protected Species license is required. If an EPS license is required this could affect the proposed mitigation measures as currently set out. Natural England's Standing Advice states that planning condition can be used to provide additional or updated ecological surveys to make sure that the mitigation is still appropriate and this is particularly applicable for outline applications. The Ecologist who produced the BMEP for the applicants has stated they are confident that the scheme can fully provide adequate mitigation for the Pipistrelle bat species and they are of the opinion that no further mitigation beyond the provision of additional crevice roosts for bats is required which can be incorporated into the scheme. The BCP Biodiversity Officer has confirmed that this approach is acceptable.

65. The following enhancement measures are proposed in order to provide net gain on the site in line with the NPPF and policy ME1:

- Swift and sparrow terraces on new building
- Hedgehog gaps within new fencing

66. It is considered that with the additional bat surveys secured by a condition and an updated BMEP to be submitted and approved by the Local Planning Authority, the development is in compliance with policy ME1.

Drainage and surface water management

67. There is no indication of existing surface water flooding on the site and the site is within Flood Zone 1. The National Planning Policy Framework (NPPF), requires all major development proposals to take due consideration of surface water management and should offer a Drainage Strategy that does not create or exacerbate off site worsening and should mitigate flood risk to the site.

68. The application proposes to use permeable paving and to construct a soakaway to dispose of surface water. The Drainage Strategy considered that the redevelopment will not result in a detrimental impact upon existing run off rates and volumes discharged from the site and would provide a betterment over the existing drainage system. BCP Flooding and Coastal Erosion Risk

Management Team are satisfied with this proposal; however further detail would need to be secured by condition.

Summary

- 69. The proposal seeks development in a suburban sustainable area and makes a contribution to the housing land supply.
- 70. The development is not considered to harm the visual amenities of this sylvan and verdant locality and the impact on neighbouring properties has been minimised through the siting and design of the building.
- 71. The access and parking arrangements are considered to be acceptable and the biodiversity of the site will be protected and enhanced through the proposal and Heathland Mitigation will be secured through a legal agreement and CIL.

Planning Balance

- 72. In the absence of relevant up to date development plan policies, given the lack of a five year housing land supply, the balance is tilted in favour of sustainable development and granting planning permission except where the benefits are significantly and demonstrably outweighed by the adverse impacts or where specific policies in the NPPF provide a clear reason for refusal.
- 73. The council encourages sustainable development. This seeks to strike a balance between the economic benefit of the development, the environmental impacts that results from the loss of trees and potential impact on residential amenities and the character of the area, and the social benefits derived by the creation of much needed housing. In light of the worsening of the housing land supply and the number of units proposed in this application, significant weight is given to the provision of additional housing in a sustainable location. The scheme complies with the most recent Policy HE2 and the weight to be attached to the additional housing is considered to demonstrably outweigh any potential conflicts with Policy H9 in this instance.
- 74. It is clear there is a strong level of opposition to this development and these representations have been carefully considered before coming to a recommendation.
- 75. The proposed development, whilst it could be said not to be in technical compliance with policy LN1 and the Strategic Market Housing Assessment and it will change the character of the plot within this spacious and verdant locality (policies H9 and HE2), is still considered to be in accordance with the Development Plan as a whole and will provide a sustainable form of development making a contribution to the housing supply in the Christchurch area.

RECOMMENDATION

A) GRANT permission with the following conditions and completion of a Section 106 Agreement, which are subject to alteration/addition by the Head of Planning provided any alteration/addition does not go to the core of the decision.

B) If the section 106 legal agreement in recommendation A) above is not completed in accordance with the Heads of Terms the application shall be refused.

1. (a) Approval of the Landscaping of the site (hereinafter called "the reserved matters") shall be obtained from the Local Planning Authority in writing before any development is commenced.

(b) Application for approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.

(c) The development to which this permission relates must be begun not later than the expiration of two years from the final approval of the Reserved Matters or, in the case of approval on different dates, the final approval of the last such matter to be approved.

Reason: (a) This condition is required to be imposed by the provisions of Article 5(1) of the Town and Country Planning (Development Management Procedure) Order 2015: (1) of the (b) and (c) These conditions are required to be imposed by Section 92 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

100 K Amended Site Location, Block Plan and Plans Proposed

101 D Amended Proposed floor plans

102 F Amended Proposed Elevations

103 H Amended Proposed Bike and Bin store Plans Proposed Street Scene

105 D Proposed basement parking plan

RNnpc/028/TTP/Rev B Tree Protection Plan - demolition and construction

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Notwithstanding the submitted plans, as part of the submission of Reserved Matters under Condition 1 of this planning permission, details regarding car park

layout, turning and underground parking access arrangements shall be submitted. Such details shall include access ramp, transition ramps, location of columns, parking bay position, aisle width specifications and turning arrangements.

Reason: To ensure the proper and appropriate development of the site and to ensure that highway safety is not adversely impacted upon.

4. As part of the submission of Reserved Matters under Condition 1 of this planning permission, details of an acoustic fence to be erected along the North West boundary adjacent to the proposed access ramp shall be submitted. Such details shall include appearance, length and height and soft landscaping to be planted in front of the fence.

Reason: To protect residential amenities.

5. Prior to commencement of development, a detailed Construction Management Plan shall be prepared and submitted for written approval of the Local Planning Authority in conjunction with the Local Highway Authority. The Construction Management Plan shall include safe access to the site for deliveries, loading and unloading of plant and materials and wheel cleansing of vehicles prior to egress from the site onto the public highway. The approved Construction Management Plan shall be implemented and complied with by the Applicant, or its successor, upon commencement of the development and the obligations within the Construction Management Plan shall be adhered to throughout the construction phase of the development.

Reason: To ensure the proper and appropriate development of the site and to ensure that highway safety is not adversely impacted upon.

6. Prior to commencement of development including any demolition, additional bat surveys must be undertaken in line with the BMEP dated February 2020 and a revised BMEP must be submitted to and approved in writing by the LPA prior to the commencement of works. The development shall be carried out in accordance with the approved details.

Reason: To ensure protected species are not harmed by the development and mitigation and enhancement measures are secured.

7. Other than for the erection of tree protection, before any equipment, materials or machinery are brought onto the site, a pre-commencement site meeting between the Tree and Landscape Case Officer and Site Manager shall take place to confirm the methods of protecting trees on and adjacent to the site during development in accordance with the submitted Tree Report ref: Chewton Farm Road 20 0281911/4, dated 25/09/20 and Tree Protection Plan ref: RNapc/028/TTP/rev B, dated 18/09/20. The Tree Protection Plan shall be retained until the development is completed and nothing shall be placed within

the fencing, nor shall any ground levels be altered or excavations made without the written consent of the Local Planning Authority.

Reason: This meeting is required prior to commencement of development in the interests of tree protection.

8. Notwithstanding the details already submitted, full plans and particulars showing the final siting of the services and soakaways shall be submitted to the Local Planning Authority for written approval prior to commencement of works on site. The development shall be carried out in accordance with the approved details.

Reason: To ensure that protected trees, their rooting environments are afforded adequate physical protection during construction.

9. Prior to the commencement of development, the finalised surface water drainage strategy shall be submitted to and approved in writing by the Local Planning Authority. The drainage scheme shall include appropriate arrangements for the discharge of surface water. The drainage scheme shall be completed in accordance with the approved details.

Reason: To ensure that the development does not increase the risk of surface water flooding on the site or on nearby sites.

10. Within the next available planting season (October to February) following the completion of the development, one English Oak (*Quercus robur*) and one Sweet Chestnut (*Castanea sativa*), semi mature in size (a single straight main trunk minimum 4.5m high, stem circumference 20-25cms, 70cms x 60cms rootball or containerised) shall be planted in positions to be submitted to and agreed in writing by the Local Planning Authority prior to their planting. Should the replacement trees be removed, die or become severely damaged such that its future development will be compromised, or diseased within 5 years of planting, it shall be replaced by a tree of a similar size and species to that originally planted.

Reason: In order to preserve the visual amenities which at present exist on the site.

11. Prior to any development above DCP (damp proof course), details and samples of all external facing and roofing materials shall be submitted to and approved in writing by the Local Planning Authority. All works shall be undertaken strictly in accordance with the details as approved.

Reason: To ensure satisfactory visual relationship of the new development to the adjacent buildings.

12. The development hereby permitted shall not be occupied until a Refuse Management Plan has been submitted to and approved in writing by the Local Planning Authority. The plan shall include: details of the management company

to be set up; the employment of a private contractor to collect the refuse; measures to be taken if no private contractor is available at any time in the future (such as the employment of a person or persons to ensure bins are wheeled to the collection point); and that bins will not be stored in the open or at the collection point apart from on the day of collection. The refuse management plan shall be carried out in accordance with the approved details, unless otherwise approved in writing by the Local Planning Authority.

Reason: To ensure that the proposed development includes a long-term management plan for the collection of refuse in the interests of visual and residential amenities.

13. Before the development hereby approved is occupied or utilised the turning and parking shown on Drawing Number 9297/ 100 (rev K) must have been constructed. Thereafter, these areas, must be permanently maintained, kept free from obstruction and available for the purposes specified.

Reason: To ensure the proper and appropriate development of the site and to ensure that highway safety is not adversely impacted upon.

14. Before the development hereby approved is occupied or utilised, the visibility splay areas as shown on Drawing Number 9297/ 100 (rev K) must be cleared/excavated to a level not exceeding 0.60 metres above the relative level of the adjacent carriageway. The splay areas must thereafter be maintained and kept free from all obstructions.

Reason: To ensure that a vehicle can see or be seen when exiting the access.

15. Before the development is occupied or utilised, the cycle parking facilities shown on Drawing Number 9297/ 100 (rev K) must have been constructed. Thereafter, these must be maintained, kept free from obstruction and available for the purposes specified.

Reason: To ensure the proper construction of the parking facilities and to encourage the use of sustainable transport modes.

Background Papers

Figure 1 consists of seven diagrams illustrating the proposed development scheme. The diagrams are arranged vertically and labeled as follows:

- SITE BOUNDARY:** A red line forming a pentagon within a square frame.
- EXISTING BUILDINGS TO BE DEMOLISHED:** A red dashed line forming a square within a square frame.
- EXISTING LEVELS:** A square frame containing the text "41.56".
- PROPOSED LEVELS:** A square frame containing a rectangle with the text "GL - 37.10".
- PROPOSED 3m x 3m VISIBILITY SPLAYS:** A square frame containing a complex geometric shape with green, yellow, and red hatched areas.
- POLICY PP12 OF THE ADOPTED LOCAL PLAN REQUIRE SCHEMES OF 11 OR MORE UNITS TO PROVIDE AT LEAST 20% OF A MIX OF THE HOUSING TYPES ON THE SITE IN ACCORDANCE WITH BUILDING REGULATIONS PART M4(2) FOR ADAPTABLE AND ACCESSIBLE HOMES.:** A square frame containing a rectangle with diagonal hatching.
- OUTLINE OF BASEMENT BELOW:** A square frame containing a dashed blue line sloping downwards from left to right.

| | | | |
|----|--|----------|----|
| K. | Planning officer comments | 11.11.20 | TC |
| J. | T002 removed, SUDS changed | 22.10.20 | TC |
| I. | Path relocated | 17.09.20 | TC |
| H. | Stair to basement removed | 07.09.20 | TC |
| G. | Ramp amended. Visitor spaces added. | 03.09.20 | JA |
| F. | Basement parking added. All parts of site plan amended accordingly. Designers risk assessment added. | 27.08.20 | JA |
| E. | Revised roofline and detailing | 27.05.20 | TC |
| D. | Access, parking and planting altered | 11.05.20 | TC |
| C. | Highways comments | 01.05.20 | TC |
| B. | Arc changes | 24.02.20 | TC |
| A. | Client changes. | 12.02.20 | TC |

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| No. | Revision. | date | by |
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SITE LOCATION, BLOCK PLAN AND PROPOSED SITE PLAN

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|---------------------|------------|---|---|---|---|---|---|
| scale AS SHOWN @ A1 | checked BC | | | | | | |
| date NOVEMBER 2020 | drawn TC | | | | | | |
| 9297/ 100 | A | B | C | D | E | F | G |
| | H | I | J | K | | | |
| | | | | | | | |

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arc
ARCHITECTURE

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

- Principal Contractor to provide method statements for the safe working practice for: demolition, excavations, cutting of materials, support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all temporary works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers and or Principal Contractor carrying out the next phase of works on this site.

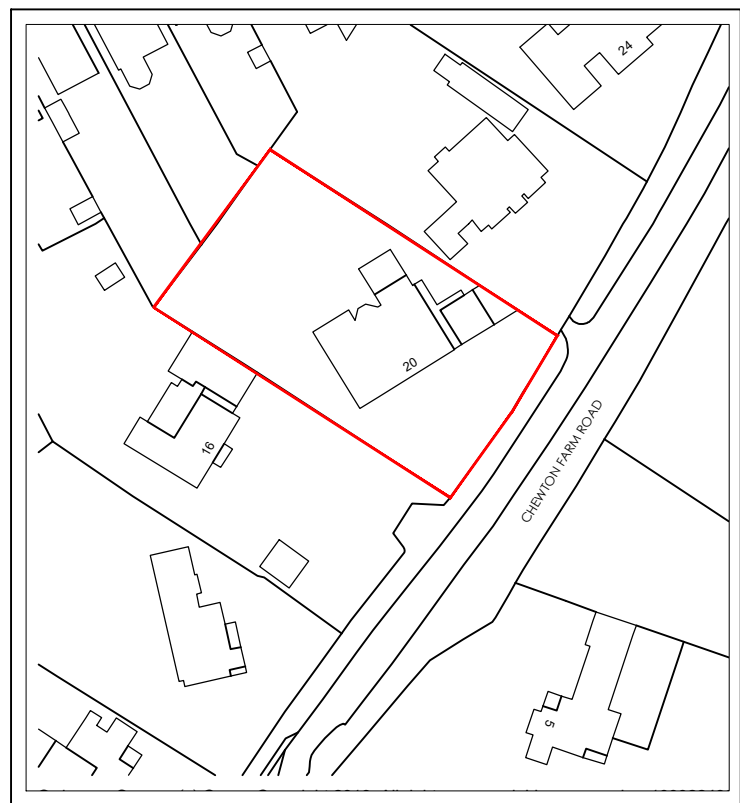
| INFORMATION | CONSTRUCTION RISKS | MAINTENANCE RISKS | DEMOLITION RISKS |
|--|--|---|--|
| <p>PRE-CONSTRUCTION INFO FROM CLIENT</p> <p>Information received from client: Topographical survey Tree report</p> <p>Outstanding information remains as residual risk, please request ARC appendix B for full list requested...</p> <p>DESIGN INFORMATION</p> <p>Further design info to be provided at subsequent stages of design / building regulations process</p> | <p>* CONSTRUCTION ACCESS</p> <p>1) Proximity to overhead trees 2) Restricted access / visibility</p> <p>* PROXIMITY TO HIGHWAYS / FOOTPATHS</p> <p>* Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.</p> <p>PROXIMITY TO OVERHEAD SERVICES</p> <p>Mitigation / Diversion to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.</p> | <p>** MAINTAINING STRUCTURAL SUPPORT FOR ADJACENT STRUCTURES</p> <p>** MAINTAINING STRUCTURAL SUPPORT TO BOUNDARIES WHERE LEVELS DIFFER WITHIN ADJACENT OWNERSHIP / PUBLIC LAND / HIGHWAYS</p> <p>** Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site, in conjunction with structural engineer</p> <p>FLAT ROOF ACCESS</p> <p>Roof access for construction to be undertaken by specialist using specialist equipment, e.g. scaffolding, appropriately designed and installed man safe system by specialist designer.</p> <p>ROOFLIGHT SPECIFICATION</p> <p>To be designed by specialist supplier to be structurally sound (where roof access is required), and to incorporate self cleaning glass</p> <p>PLACEMENT OF SUDS</p> <p>When positioning heavy machinery - The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan</p> | <p>ACCESS TO AOVS</p> <p>Maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.</p> <p>CLEANING WINDOWS</p> <p>Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment, e.g. long reach and clean systems.</p> <p>Sliding glazing to balcony's can be cleaned from balcony</p> <p>STAINING TIMBERS</p> <p>Low maintenance initiation charring to be specified to avoid high level maintenance, or</p> <p>maintenance to be undertaken by specialist contractor using appropriate scaffolding or safe access to timber boarding</p> <p>CLEANING GUTTERS</p> <p>Gutters to be cleaned from ground level by specialist using specialist equipment, e.g. long reach and clean systems.</p> <p>FLAT ROOF ACCESS</p> <p>Plant or apparatus on the roof to be kept to a minimum</p> <p>Roof access for maintenance to be undertaken by specialist using specialist equipment, e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.</p> <p>REFURBISHMENT AND DEMOLITION SURVEY</p> <p>Hazardous material survey to be undertaken prior to any on site works commencing - including stripping out.</p> |



PROPOSED SITE PLAN SCALE 1:200
BASED ON TOPO INFORMATION

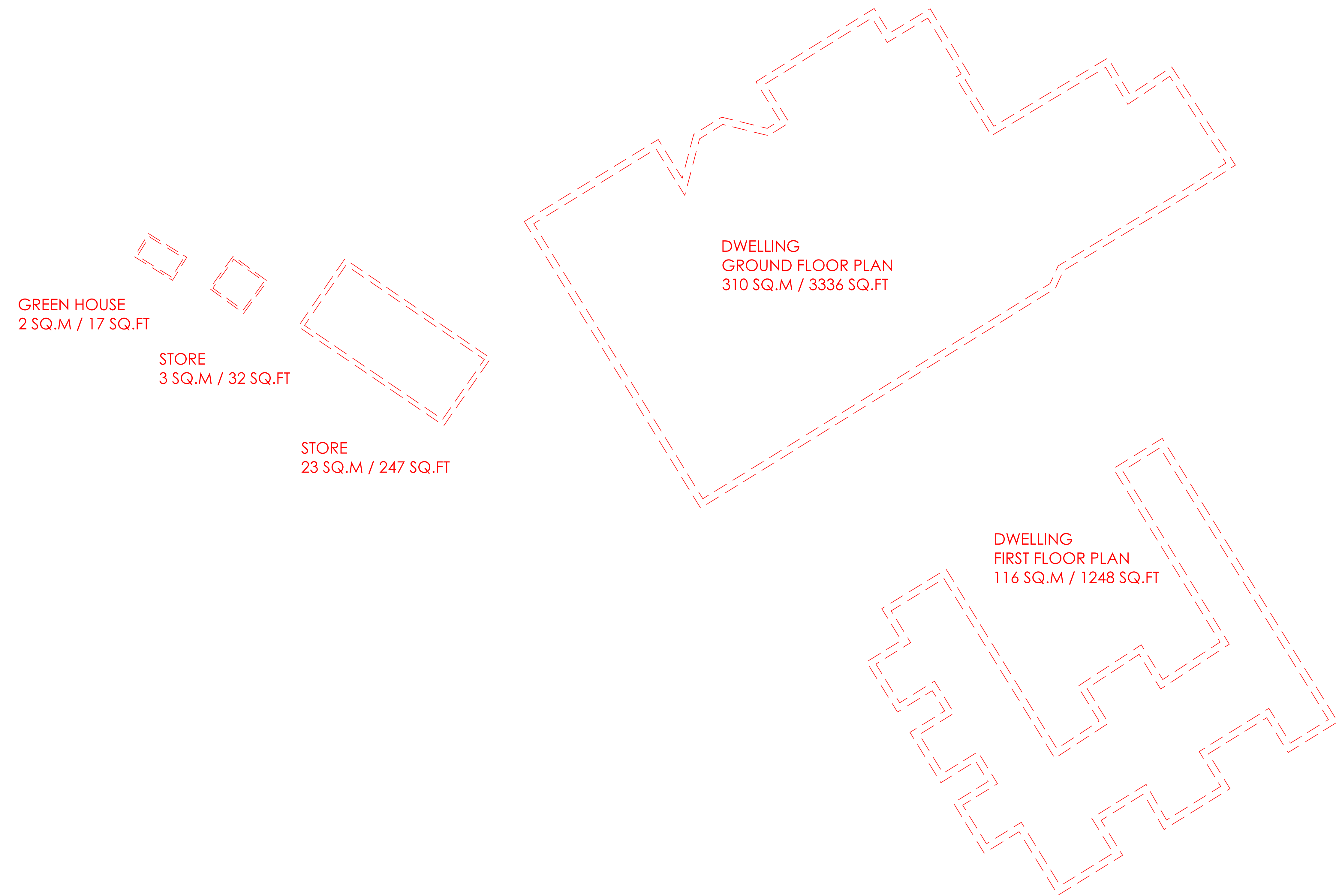


BLOCK PLAN SCALE 1:500
 BASED ON O/S MAP
 Ordnance Survey Licence No: 100007080



LOCATION PLAN SCALE 1:1250
 BASED ON O/S MAP
 Ordnance Survey Licence No: 100007080

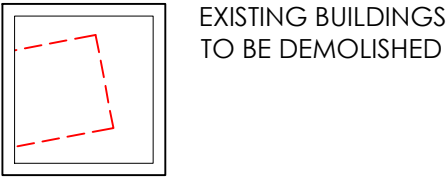
PROPOSED EXISTING FLOOR PLANS
SCALE 1:100



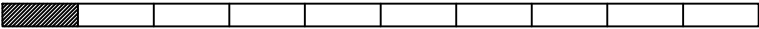
NOTES

- 1 The contents of this drawing are copyright.
- 2 Scaled drawings for planning purposes only.
- 3 Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- 4 All flat roofs to be fitted with a man safe system.
- 5 Please note a domestic sprinkler system maybe required
- 6 Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries / protected stairway (subject to building regulations)

LEGEND



10m @ 1:100



| No. | Revision. | date | by |
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20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

EXISTING PLANS - TO BE DEMOLISHED

| | | | |
|-------|---------------|---------|----|
| scale | AS SHOWN @ A1 | checked | BC |
| date | JANUARY 2020 | drawn | TC |

9297/ 104

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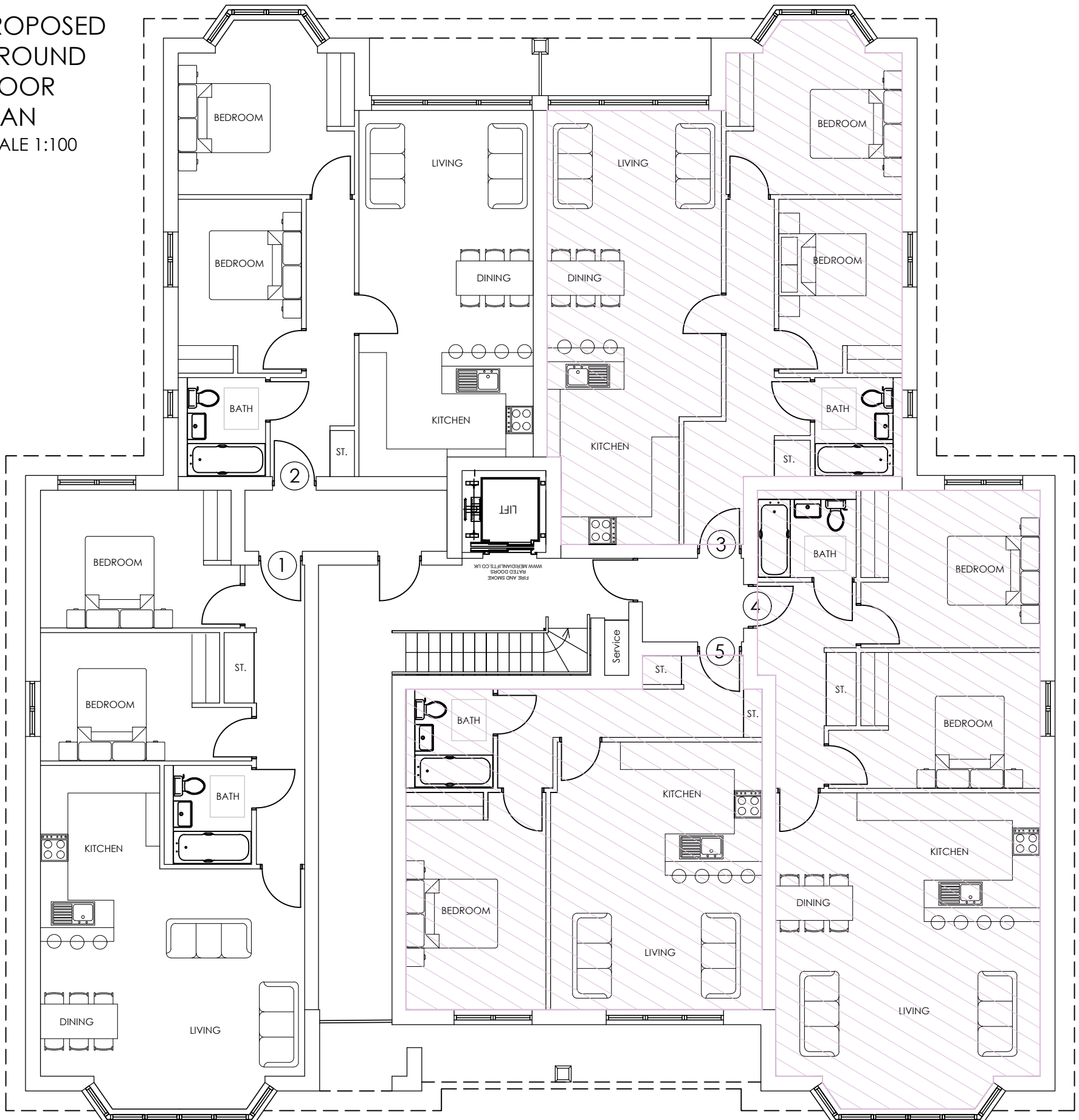
ARC Architecture ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

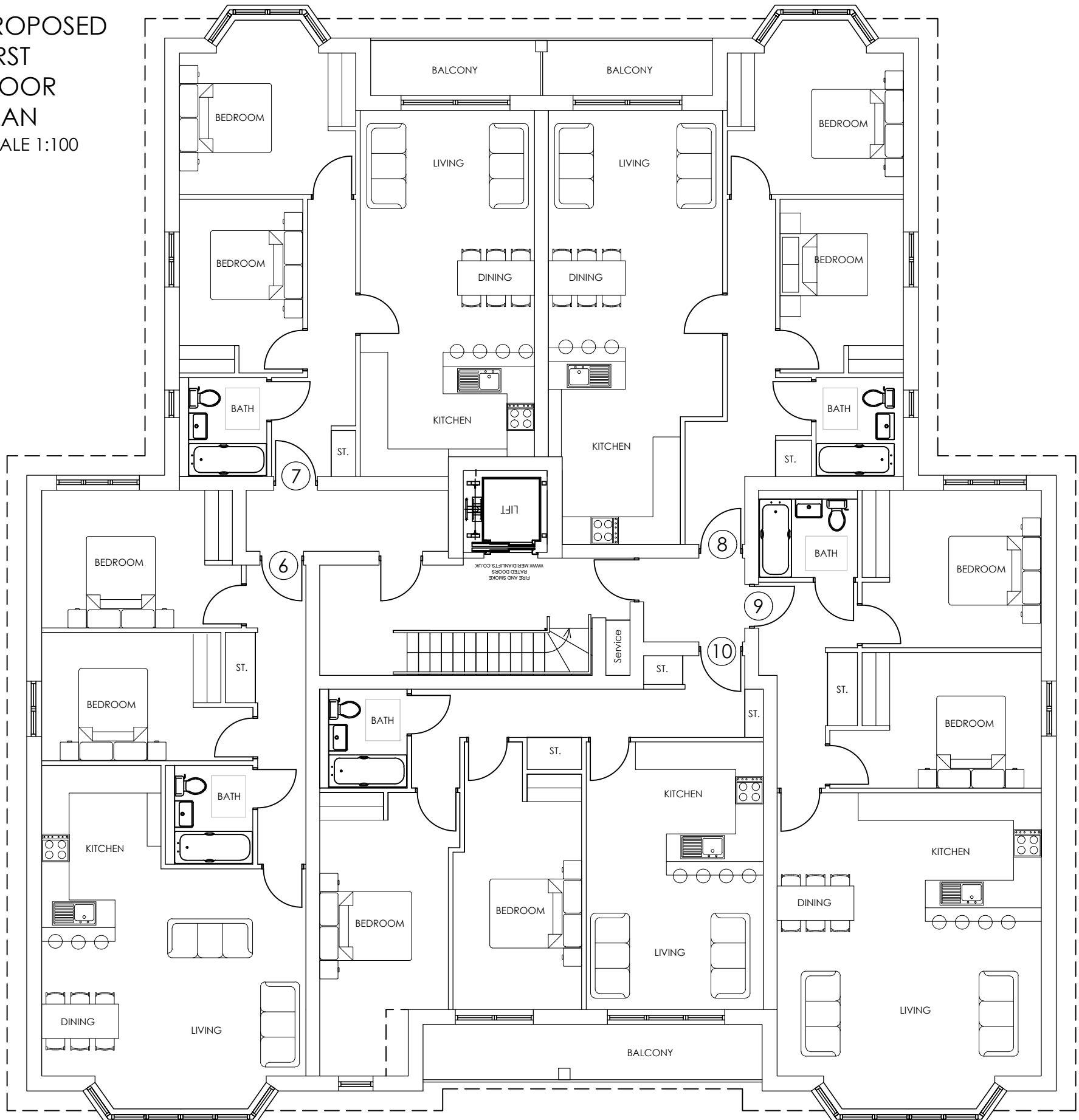
Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



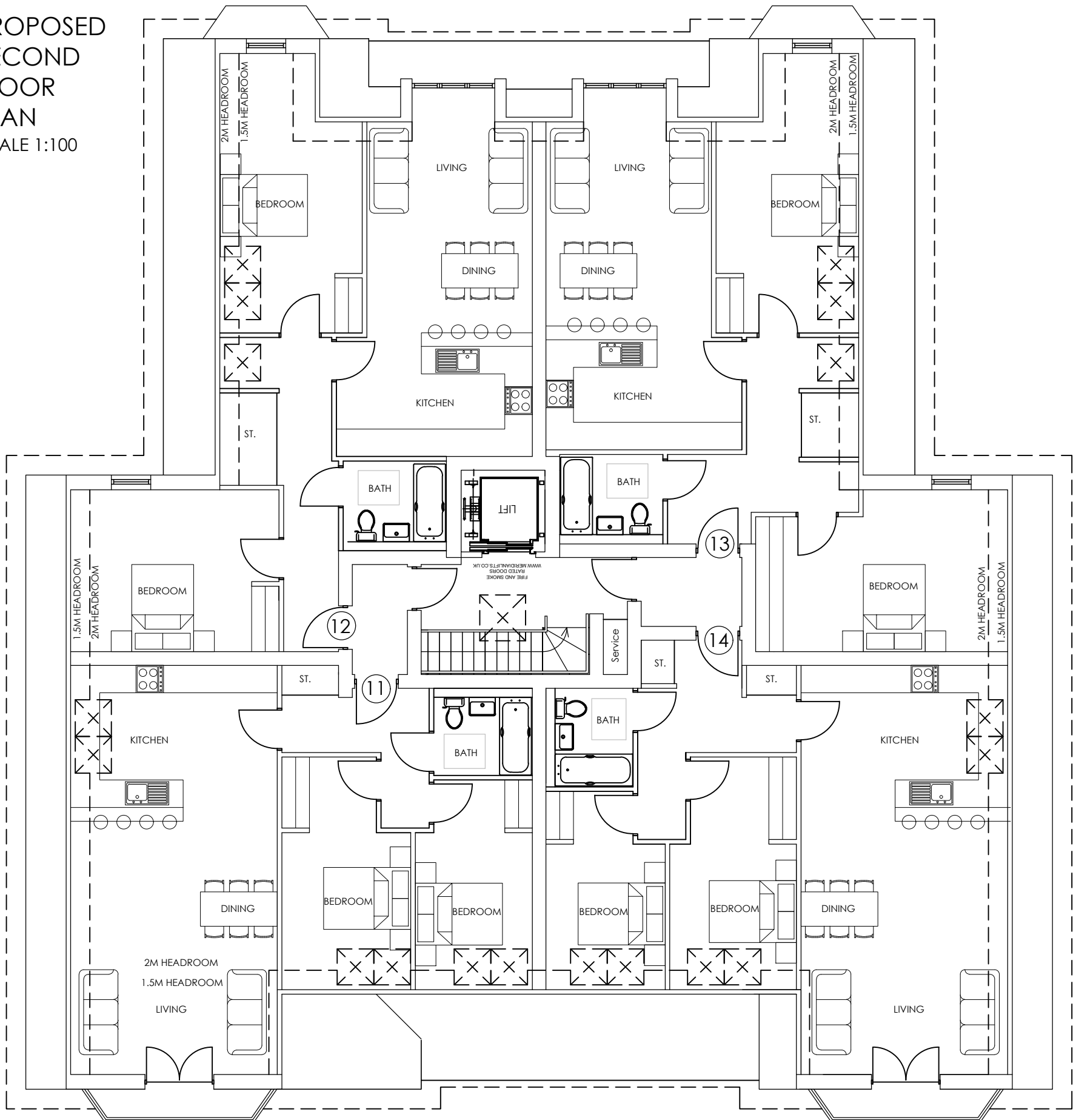
PROPOSED
GROUND
FLOOR
PLAN
SCALE 1:100



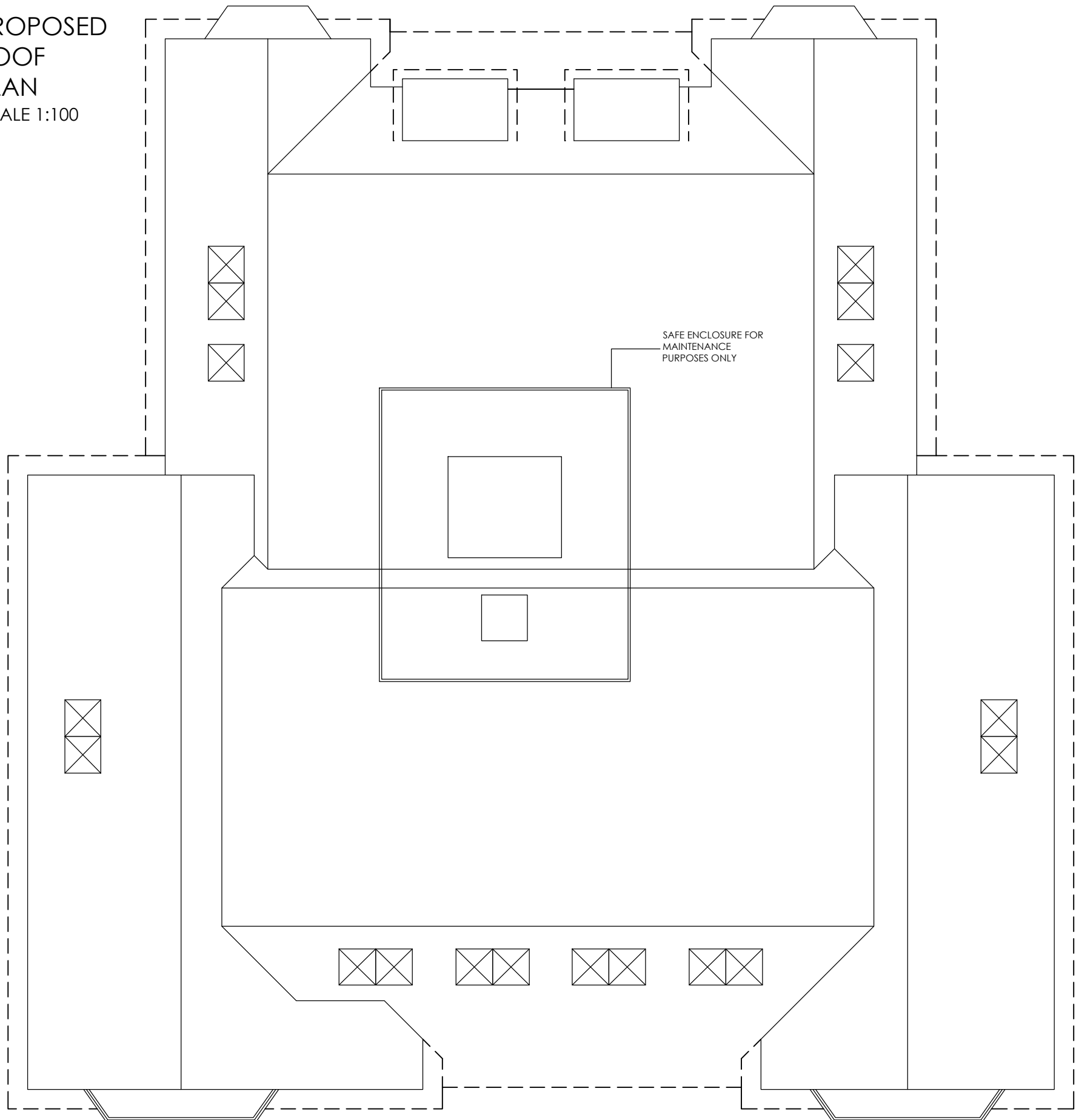
PROPOSED
FIRST
FLOOR
PLAN
SCALE 1:100



PROPOSED
SECOND
FLOOR
PLAN
SCALE 1:100



PROPOSED
ROOF
PLAN
SCALE 1:100



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16. All Cladding & building attachments to be A1 fire rated.

LEGEND

PROPOSED LEVELS

GL - 37.10

POLICY PP12 OF THE ADOPTED LOCAL PLAN REQUIRES SCHEMES OF 11 OR MORE UNITS TO PROVIDE AT LEAST 20% OF A MIX OF THE HOUSING TYPES ON THE SITE IN ACCORDANCE WITH BUILDING REGULATIONS PART M4(2) FOR ADAPTABLE AND ACCESSIBLE HOMES.

10m @ 1:100

| SCHEDULE | | |
|----------------|--------------|---------------------|
| GROUND FLOOR - | | |
| UNIT 1 : | 2 BED FLAT - | 73 SQ.M / 828 SQ.FT |
| UNIT 2 : | 2 BED FLAT - | 67 SQ.M / 721 SQ.FT |
| UNIT 3 : | 2 BED FLAT - | 73 SQ.M / 785 SQ.FT |
| UNIT 4 : | 2 BED FLAT - | 77 SQ.M / 828SQ.FT |
| UNIT 5 : | 1 BED FLAT - | 55 SQ.M / 592 SQ.FT |
| FIRST FLOOR - | | |
| UNIT 6 : | 2 BED FLAT - | 73 SQ.M / 828 SQ.FT |
| UNIT 7 : | 2 BED FLAT - | 67 SQ.M / 721 SQ.FT |
| UNIT 8 : | 2 BED FLAT - | 73 SQ.M / 785 SQ.FT |
| UNIT 9 : | 2 BED FLAT - | 77 SQ.M / 828SQ.FT |
| UNIT 10 : | 2 BED FLAT - | 69 SQ.M / 742 SQ.FT |
| SECOND FLOOR - | | |
| UNIT 11 : | 2 BED FLAT - | 78 SQ.M / 840 SQ.FT |
| UNIT 12 : | 2 BED FLAT - | 81 SQ.M / 872 SQ.FT |
| UNIT 13 : | 2 BED FLAT - | 83 SQ.M / 893 SQ.FT |
| UNIT 14 : | 2 BED FLAT - | 80 SQ.M / 861 SQ.FT |

| | |
|-----------------------------|--------------------------------|
| RESIDENTIAL BLOCK GIA = | 1690 SQ.M / 18191 SQ.FT |
| BIN STORE GIA = | 13 SQ.M / 140 SQ.FT |
| PROPOSED TOTAL GIA = | 1703 SQ.M / 18330 SQ.FT |

| | | | |
|----|--------------------------------|----------|----|
| D | Planning officer comments | 11.11.20 | TC |
| C. | Smoke vent moved | 27.08.20 | JA |
| B. | Revised roofline and detailing | 27.05.20 | TC |
| A. | Arc changes | 24.02.20 | TC |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED FLOOR PLANS

| | | | |
|-----------|---------------|---------|----|
| scale | AS SHOWN @ A1 | checked | BC |
| date | NOVEMBER 2020 | drawn | TC |
| 9297/ 101 | | A B C D | |

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PROPOSED (FRONT) SOUTH EAST ELEVATION
SCALE 1:100



PROPOSED (REAR) NORTH WEST ELEVATION
SCALE 1:100



PROPOSED (SIDE) NORTH EAST ELEVATION
SCALE 1:100



PROPOSED (SIDE) SOUTH WEST ELEVATION
SCALE 1:100

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16. All Cladding & building attachments to be A1 fire rated.

LEGEND

EXISTING BUILDINGS
TO BE DEMOLISHED

10m @ 1:100

MATERIAL SCHEDULE

- WALLS :
1. BRICK
 2. RENDERED ON BEAMS
 3. CLAY TILE HANGING
- ROOF :
1. SLATE ROOF TILES
- WINDOWS :
1. LIGHT GREY WINDOW FRAMES

| | | | |
|---|---|----------|----|
| F | Planning officer comments | 11.11.20 | TC |
| E | North east elevation amended. | 03.09.20 | JA |
| D | Basement ramp shown on north east elevation. External door heights amended. | 27.08.20 | JA |
| C | Revised roofline and detailing | 27.05.20 | TC |
| B | Existing outlines added | 12.03.20 | TC |
| A | Arc changes | 24.02.20 | TC |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED ELEVATIONS

| | | | |
|-----------|---------------|-------------|----|
| scale | AS SHOWN @ A1 | checked | BC |
| date | NOVEMBER 2020 | drawn | TC |
| 9297/ 102 | | A B C D E F | |
| | | | |

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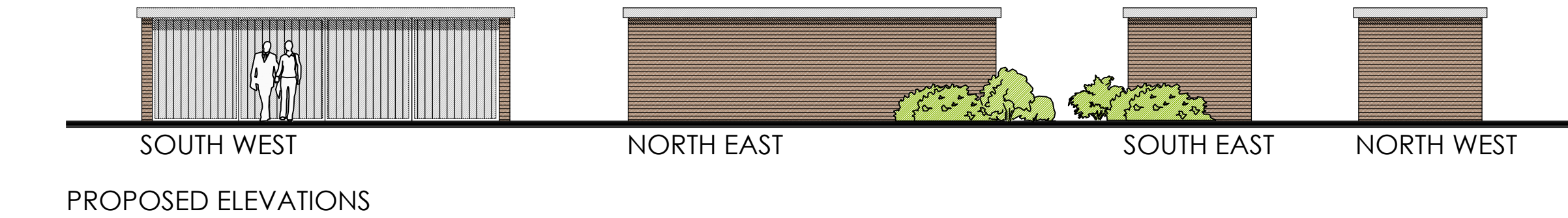
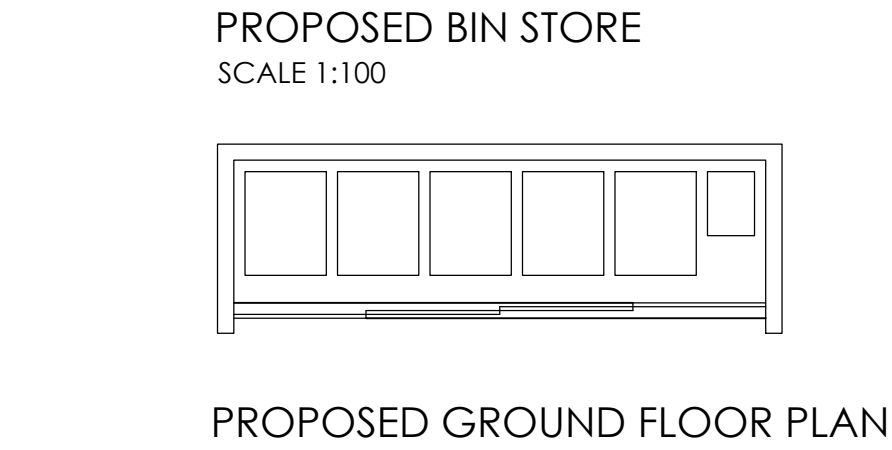
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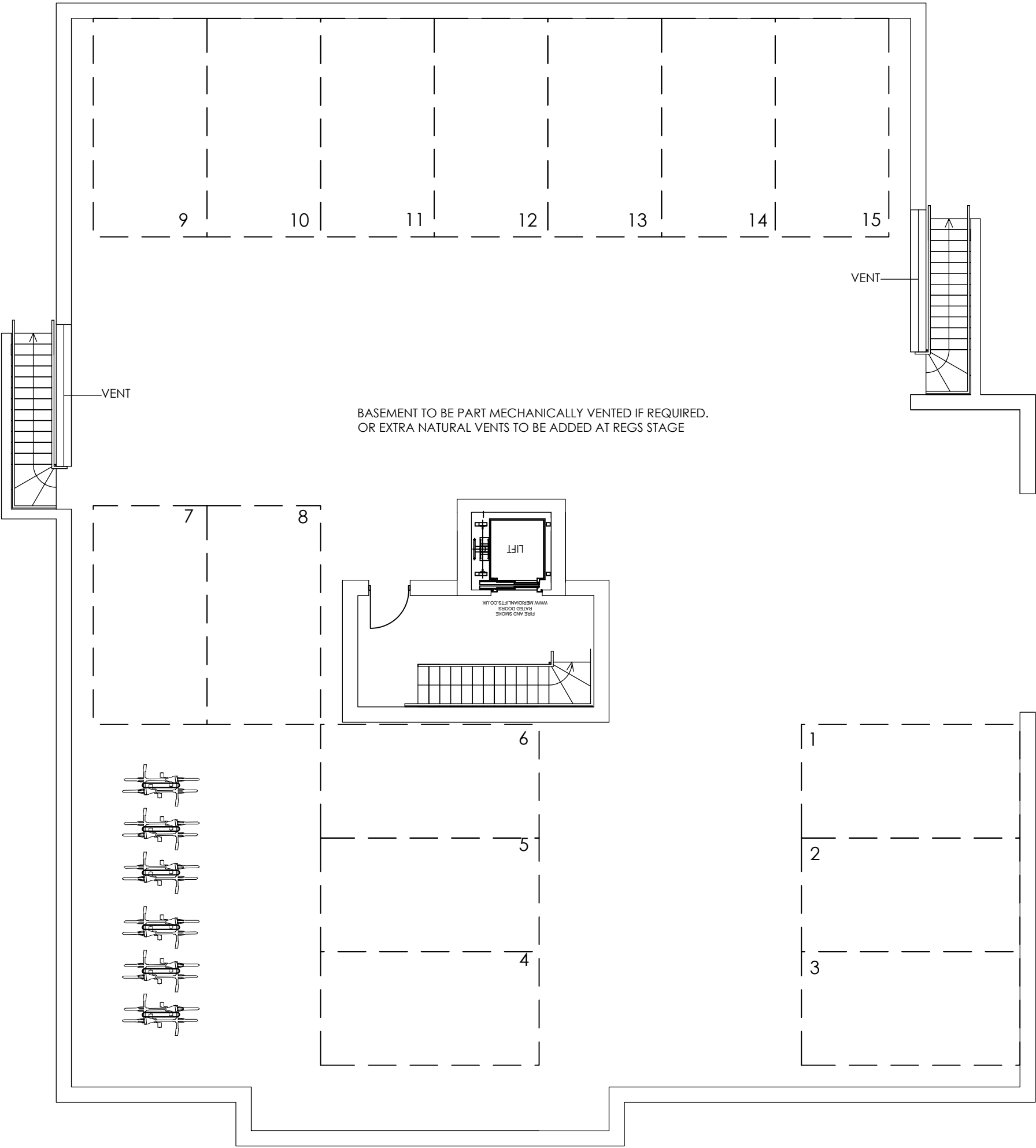
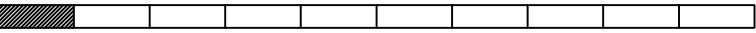
16. All Cladding & building attachments to be A1 fire rated.

LEGEND

EXISTING BUILDINGS
TO BE DEMOLISHED



10m @ 1:100



PROPOSED LOWER GROUND FLOOR PLAN
SCALE 1:100

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 16. All Cladding & building attachments to be A1 fire rated.

| | | | |
|----|---------------------------------|----------|----|
| D. | Client changes to stair | 13.11.20 | TC |
| C. | Planning officer comments | 11.11.20 | TC |
| B. | Stair to basement removed | 07.09.20 | JA |
| A. | Additional parking space shown. | 03.09.20 | JA |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

20 CHEWTON FARM ROAD
WALKFORD
CHRISTCHURCH
BH23 5QN

PROPOSED BASEMENT PARKING PLAN

| | | | |
|-------|---------------|---------|---------|
| scale | AS SHOWN @ A2 | checked | BC |
| date | NOVEMBER 2020 | drawn | JA / TC |

9297/ 105

| | | | | | | | |
|---|---|---|---|--|--|--|--|
| A | B | C | D | | | | |
| | | | | | | | |

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General Notes
Do not scale off drawing - refer to the tree data schedule for accurate crown spread measurements.
Depictions of tree canopies are based on measurements taken to four cardinal compass points.
No liability of any kind is accepted for any omissions or inaccuracies in respect of this plan.
The original of this drawing was produced in colour - a monochrome copy should not be relied upon.
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- ### Tree Protective Fencing
- Trees for removal to be identified from the drawing and marked by an arboriculturist.
 - No vehicles to enter the grass verge or root protection zone during tree removal or fencing installation/removal.
 - Fencing to be installed prior to any construction works (including demolition, materials delivery, works compound installation).
 - The location of the tree protective fencing is indicative only and must not be directly measured from this plan. Its true location must be surveyed accurately on site and where applicable be measured from the tree centre by the stated dimension value.
 - Fencing to remain in place until all construction works have ceased.

BS5837: 2012 Recommendations (extract)

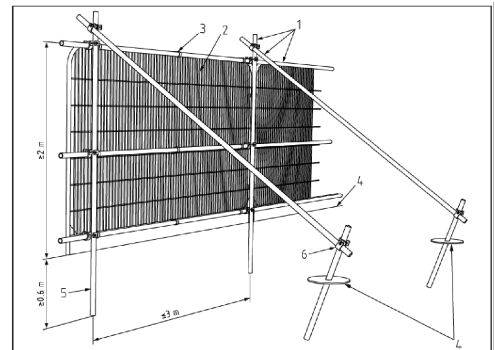
6.2.2 - Barriers

6.2.2.1 - Barriers should be fit for the purpose of excluding construction activity and appropriate to the degree and proximity of work taking place around the retained tree(s). Barriers should be maintained to ensure that they remain rigid and complete.

6.2.2.2 - The default specification should consist of a vertical and horizontal scaffold framework, well braced to resist impacts, as illustrated in Figure 2. The vertical tubes should be spaced at a maximum interval of 3m and driven securely into the ground. Onto this framework, welded mesh panels should be securely fixed.

Default Fencing Specification

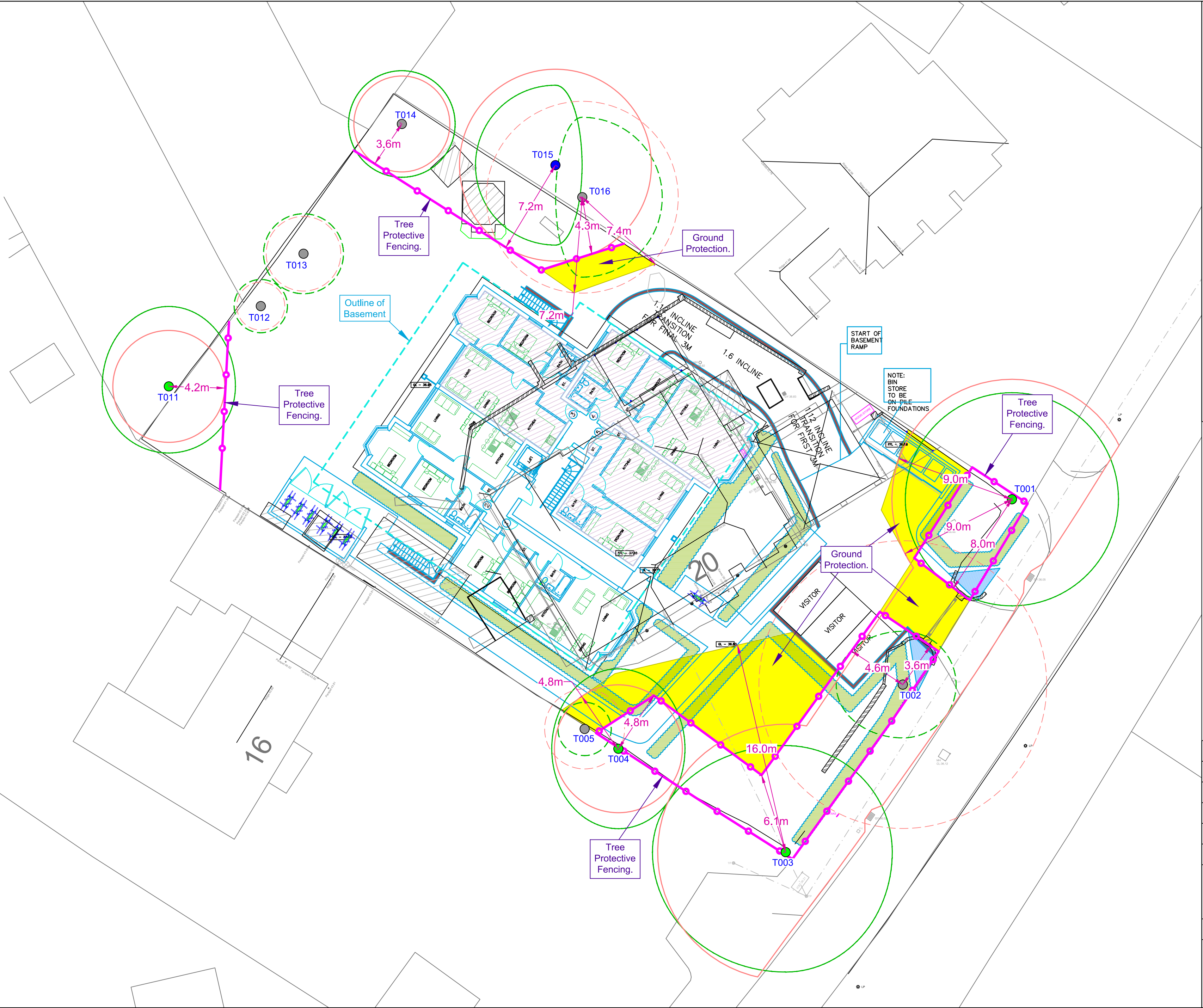
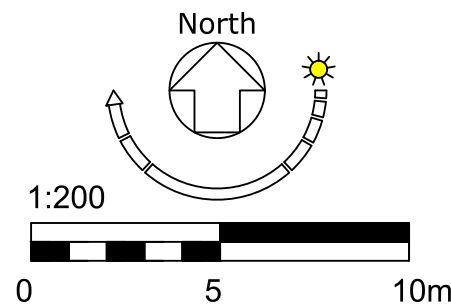
The fencing will consist of a scaffold framework supporting standard GS7/Heras styled steel security fencing panels. The scaffolding will consist of vertical poles set no more than 3m apart onto which 3 horizontal poles are securely clamped with the whole structure braced with diagonal poles (see diagram below for layout of scaffold poles). The Heras styled panels must be securely fixed to the scaffold structure using wire or other fixings.



Key

- 1. Standard Scaffold poles
- 2. Heavy gauge 2m tall galvanized tube and welded mesh infill panels.
- 3. Panels secured to uprights and cross-members with wire ties
- 4. Ground level
- 5. Uprights driven into ground until secure (min depth 0.6m).
- 6. Standard scaffold clamps.

- ### Why Is Fencing Erected Around Trees?
- The major cause of damage to trees on construction sites is due to soil compaction.
 - Roots use the spaces between soil particles to obtain Oxygen, Water and Nutrients.
 - Heavy plant and machinery compresses (compacts) the soil, squashing out the air spaces and preventing root function.
 - A compacted soil structure will stay compacted.
 - Consequently the tree suffers and will show signs of branch die-back.
 - Symptoms such as die-back may take several years to appear.
 - Soil compaction over roots can be prevented by maintaining a fenced exclusion zone over the tree roots.
 - The exclusion zone is calculated using British Standard 5837.
 - Protective Fencing is installed around the calculated area.
 - Protective Fencing is a condition of planning approval, if it is removed or repositioned the construction firm is in breach of a condition and may be subjected to legal action.



Key

- T01** Tree or Group Reference Number
- Tree Stem Position A category Tree
- Tree Stem Position B category Tree
- Tree Stem Position C category Tree
- Tree Stem Position U category Tree
- Tree Crown (and optional direction arrow of first significant branch).
- Root Protection Area
- Trees Proposed to Remove
- Tree protective Fencing
- Ground Protection

Drawing Title: **Tree Protection Plan**

Drawing No: RNapc/028/TPP/revB
Demolition and Construction

Date: 18th September 2020

Scale: 1:200 - A2

Client: Fortitudo Ltd

Site Address: 20 Chewton Farm Road, Walkford, Christchurch.

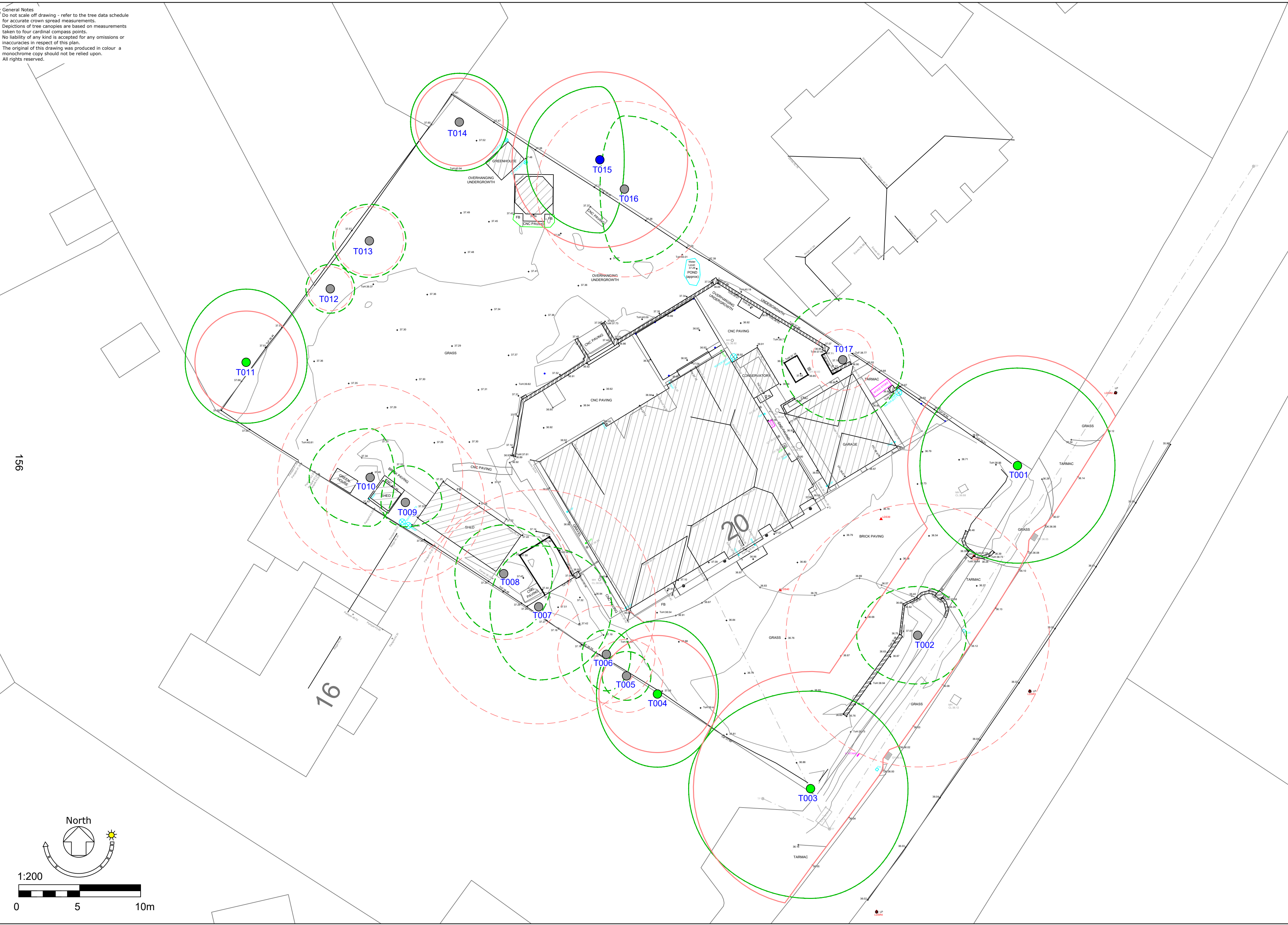
Revision:
Date:
Details:

Drawn By: CS Checked By: RN

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RN
apc

General Notes
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Tree Constraints Plan

Key

- T01** Tree or Group Reference Number
- Tree Stem Position A category Tree
- Tree Stem Position B category Tree
- Tree Stem Position C category Tree
- Tree Stem Position U category Tree
- Tree Crown (and optional direction arrow of first significant branch).
- Trees Proposed to Remove
- Root Protection Area

Drawing Title:
Tree Constraints Plan

Drawing No:
RNapc/028/TCP/1

Date:
13th December 2019

Scale:
1:200 - A2

Client:
Fortitudo Ltd

Site Address:
20 Chewton Farm Road, Walkford, Christchurch.

Revision:
Date:
Details:

Drawn By:
CS

Checked By:
RN

Richard Nicholson
Arboricultural Planning Consultant
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Tolpuddle
Dorchester DT2 7EW

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RN
apc



PLANNING COMMITTEE

| | |
|---|--|
| Application Address | 7-9 The Starre Inne Purewell Christchurch BH23 1EH |
| Proposal | Development of 3 x 1 bed, 2 x 2 bed and 2 x 3 bed properties (4 x houses and 3 x apartments) together with associated parking and access |
| Application Number | 8/20/0440/OUT |
| Applicant | Amirez Ltd |
| Agent | Mr G Moir |
| Date Application Valid | 17 July 2020 |
| Decision Due Date | 11 September 2020 |
| Extension of Time Date (if applicable) | 21 December 2020 |
| Ward | Christchurch Town |
| Report status | Public |
| Meeting date | 17 December 2020 |
| Recommendation | Refuse |
| Reason for Referral to Planning Committee | Number of support letters exceeds the 20 trigger |
| Case Officer | Sophie Mawdsley |

Description of Development

33. The application seeks permission for the development of 3 x 1 bed, 2 x 2 bed and 2 x 3 bed properties (4 x houses and 3 x apartments) together with associated parking and access.

34. It is an outline application with approval sought for access, appearance, layout and scale. Landscaping is the only reserved matter.
35. The height of the main section of the building is 8.5m with the two end elements measuring 7m in height. The proposed materials include red brick, painted brick and slate and clay effect tiles. The building curves around the junction between Stony Lane South and Purewell and steps down either end closest to the existing buildings. The two and half storey building has a traditional form with the accommodation in the roofspace being served by modest dormer windows.

Key Issues

36. The main considerations involved with this application are:
 - Principle of the development
 - Flood risk
 - Type and size of housing
 - Design, form, scale and layout
 - Impact on Heritage Assets
 - Impact on residential amenities
 - Access and highway arrangements
 - Biodiversity and Heathland mitigation

Planning Policies

Development Plan:

37. Christchurch and East Dorset Core Strategy 2014

KS1: Presumption in favour of sustainable development

KS2: Settlement Hierarchy

KS4: Housing Provision

KS11: Transport and Development

KS12: Parking Provision

HE1: Valuing and conserving our historic environment

HE2: Design of New Development

HE3: Landscape Quality

LN1: Size and type of new dwellings

LN2: Design, Layout and Density of New Housing Development

ME1: Safeguarding Biodiversity and Geodiversity

ME2: Protection of Dorset Heathlands

ME3: Sustainable Development Standards for New Development

Christchurch Borough Council Local Plan (2001) – Saved Policies

H12: Residential Infill

Supplementary Planning Documents:

- Dorset Heathlands Planning Framework SPD 2015
- Character Assessment

The National Planning Policy Framework (2019)

38. Paragraph 11 sets out the presumption in favour of sustainable development.

Development plan proposals that accord with the development plan should be approved without delay. Where the development plan is absent, silent or relevant policies are out-of-date then permission should be granted unless any adverse impacts of approval would significantly and demonstrably outweigh the benefits when assessed against the NPPF. The relevant sections are;

Section 2 Achieving sustainable development

Section 5 Delivering a sufficient supply of homes

Section 12 Achieving well-designed places

Section 14 Meeting the challenge of climate change, flooding and coastal change

Section 15 Conserving and enhancing the natural environment

Section 16 Conserving and enhancing the historical environment

Relevant Planning Applications and Appeals

8/04/0897 – Creation of enclosed seating area in car park. Granted

Representations

39. Public consultation took place for the development on 22 July 2020 and a site notice was posted outside the site on 28 July 2020. A press advert was published on 31 July 2020.
40. There have been 5 letters of objection on the following grounds;
- Overdevelopment
 - Inadequate parking
 - Inappropriate mitigation measures
 - Increased noise levels
 - Alter views

41. There have been 22 support representations on the following grounds;

- Big improvement to car park
- Much needed housing
- Public car park nearby
- Bus services close by
- Utilisation of sustainable brownfield site
- Houses in town centre location
- Good quality housing for local people
- High quality town houses
- Affordable homes
- Utilises neglected land
- Additional footfall to struggling high street
- Pub car park already sold
- Well proportioned homes with gardens and parking
- Lease for pub does not include car park area

Consultations

- **Natural England**

42. No objection subject to mitigation being secured.

The application site is within the vicinity (within 5 km and beyond 400m) of Town Common SSSI which is notified as a Site of Special Scientific Interest (SSSIs) for the special interest of its heathland habitats and associated plant and animal species. Town Common SSSI is also part of the Dorset Heathlands Special Protection Area (SPA) and Dorset Heaths Special Area of Conservation (SAC) and Ramsar.

Natural England's advice to the authority is that the proposal will have a Likely Significant Effect on the European and International wildlife sites arising from the increase in residential units and hence increase in urban related pressures such as recreational access.

1. It is up to your authority to secure the appropriate level of Heathland Infrastructure Project mitigation contribution reflective of the increase in dwellings through the adopted strategic solutions approach.

2. It is up to the applicant to provide a Strategic Access Management and Monitoring contribution reflective of the increase in dwellings through the adopted strategic solutions approach.

If your authority is unable to secure either of these mitigation measures please re-consult Natural England as our advice is likely to be amended to an Objection.

It is a requirement of all development to enhance the natural environment, as stated in the NPPF (2019 as amended) paragraphs 8, 170 and 175). Without enhancement, the development would not comply with National Policy. Natural England advise that an appropriate level of enhancement is secured through a planning condition. Natural England advise that an appropriate level of enhancement for a development of this size would be to require the installation of 1 bat brick/tile or box in a suitable location for each development and install lighting in compliance with the ILP Bats and artificial lighting in the UK guidance note (08/18).

- **BCP Environmental Health**

43. The building might impact on (obscure the view) of the council's CCTV camera. CCTV might need to be consulted.
44. Whilst the site is not on land categorised as contaminated it does have some unknown former uses. Historically if there was brewing adjacent there is some possibility of land contamination. I recommend our standard contaminated land condition is applied to this application. It is likely that it can be complied with by a desktop risk assessment, but this at the very least, is required pre development.
45. My main concern is the relationship between the pub and the proposed residential dwellings. There is a strong possibility that noise from the pub will impact on residents of these proposed dwellings. The noise might consist of music from the pub; plant from the pub, e.g noise from the kitchen extract, noise from air conditioning; events in the pub e.g open mike night, karaoke, TV broadcasts; people noise from people in the external seating / smoking area; people coming and going from the pub.
46. The D&A statement (6.10) identifies that the noise can be reduced by quality glazing. However, I recommend a condition that a "noise impact assessment detailing and quantifying the likely noise sources, and explaining how this can be mitigated so as not to impact on the amenity of residents in the proposed residential dwellings" is submitted and agreed before development.
47. Some thought needs to be given to the location of the pub's kitchen extract, and an assessment of the potential odour impact on the residents in the proposed dwellings.

In summary, before I can comment fully I need to see;

- A Contaminated Land investigation report
- A noise impact assessment

- Some consideration of potential odour nuisance from the pub's kitchen extract.

- **Christchurch Town Council**

16. The Committee agreed with comments from Councillor Neale referring to the consultation response from the BCP's Growth & Infrastructure (Highways Authority) Report

It was RESOLVED that the Town Council raise OBJECTION to the scheme on the following grounds:

- 1) The scale of the proposal creates an oppressive built form at the corner of Purewell and Stoney Lane South. The height, bulk and massing of a uniform nature of the proposed corner building is too large for the site and its context contrary to Policy HE2 of the Christchurch and East Dorset Local Plan Part 1- Core Strategy and saved policy H12 of the Christchurch Local Plan;
- 2) The proposal erodes the setting and significance of designated heritage assets (the Western entrance to Purewell Conservation Area and particularly 9-13 Purewell) by virtue of its scale and dominance in the street scene given its prominent corner location. The height of the proposed ridgeline of the dominant building creates less than substantial harm to the setting of the designated heritage assets when juxtaposed alongside modest residential ridgelines and that of the neighbouring listed public house. The applicant has also failed to illustrate the public benefits of the scheme and optimum land use contrary to Policy HE1 of the Christchurch and East Dorset Local Plan Part 1 – Core Strategy and paragraphs 195-196 of the National Planning Policy Framework.
- 3) The proposal fails to provide sufficient information to assess the impact of a 50% net loss of parking spaces on the site and the impact upon the local highway network of the public house losing all of its available parking. The proposed parking bays also fail to meet the required standard. The proposal also fails to demonstrate how vehicles performing a right hand turn close to the signal controlled junction have the requisite sight-lines so as to perform this manoeuvre safely and without detriment to the free flow of traffic in a north-south direction across this junction. The application also fails to assess this planning harm when refuse and servicing vehicles need to access the site, especially when reversing into the proposed access thereby creating tailbacks into the signal-controlled junction. The proposed location of the bin-store would also exacerbate the situation with potential highway dwell-time of refuse vehicles compromising highway safety contrary to policy KS11 and KS12 of the Christchurch and East Dorset Local Plan Part 1 – Core Strategy and paragraphs 108 and 109 of the National Planning Policy Framework.

It was NOTED that no detail or heads of terms were provided in terms of Heathland Infrastructure Projects in light of the Dorset Heathlands SPD and that whilst the Committee is not against some form of appropriate development on this site in general, this application falls very far short of the requirements that would be suitable in this case. Any resubmission of application particulars would require a re-consultation.

- **BCP Highways - Minor Dev** (updated comments received 20/10/20)
17. The applicant has undertaken a trip generation exercise using the TRICS database to determine the trips generated by the existing and proposed uses of the site, and the subsequent net change in traffic using the site access. The existing trip generation determined that the site would produce 0 trips during the AM peak hour, 18 two-way trips during the PM peak hour with a total of 116 two-way trips. The proposed development was calculated as producing 3 and 5 two-way trips in the AM and PM peaks respectively with 34 daily two-way trips. This enabled the calculation of the net change in traffic summarised within the replication of *Table 3C – Exiting versus Proposed Development Trips (Two-Way)* from the applicants 4867 Trip Generation Note (September 2020). A review of the data within Table 3C has identified that the proposed development site is likely to generate 3 additional trips in the AM Peak (compared to an existing scenario of 0 trips) with a reduction of 13 two-way trips in the AM Peak and a reduction of 82 trips daily. Based upon the reduction in trip generation utilising the site access, this is considered acceptable.
 18. A review of the updated site plan from the applicant has identified the following updates:
 - The width of Parking Space P4 has been increased to 2.6m to accommodate for the end bay adjacent to the wall
 - The applicant has provided a 2m x 2m visibility splay at the site access with a label stating that no boundary treatment can exceed 0.6m height within the splay
 - The applicant has now provided a total of 4 Sheffield stands (providing a total of 8 cycle parking spaces).
 - The Bin Store has now be positioned to the left of the cycle parking – however no additional information has been submitted in relation to a servicing strategy.
 19. Additional information is required to enable the highway authority to undertake a full review of the proposals:
 - The applicant has yet to provide car parking in accordance with the relevant standard (quantity) or justify why the proposed provision is acceptable;
 - The applicant is required to present a servicing strategy for the site that would not have adversely affect the operation or safety of the highway network as outlined within the previous highway response.

- **BCP Waste and Recycling**

20. The bin is too small to accommodate the capacity required for the development. The door, bin handling area and paths are too narrow, minimum of 2m width required. It is worth noting that the bins should be long edge facing to the residents for waste deposition the bin store should be secure, have drainage, a tap for ease of cleaning the area and good signage identifying the waste streams. The pull distance to the rear of the service vehicle should not exceed 10m. A bin presentation point at the curtilage of the site, where it meets Stoney Lane, should be created and a refuse management plan submitted detailing caretaking to maintain the bin store sort contamination and present and return the bin on collection day.
21. The application fails to meet the requirements of the WCA, however with a WMP detailing private collection or a caretaking service to present and return the bins conditioned in a grant of planning permission: No objection.

- **Environment Agency**

22. We **object** to the proposed development on flood risk grounds.

Flood Risk - Sequential Test

The development is required to pass the Sequential Test as required by National Planning Policy Framework (NPPF) and its associated Practice Guidance. <http://planningguidance.planningportal.gov.uk/blog/guidance/flood-risk-and-coastal-change/applying-the-sequential-test-to-individual-planning-applications/>.

In order to pass the Sequential Test the applicant must demonstrate that there are no reasonably available sites in a lower flood risk area within the Local Authority area. The applicant should agree a Sequential Test position with the Local Planning Authority prior to committing further resources into the proposal.

If the applicant can pass the Sequential Test then they will need to pass the Exception Test through the publication of a Flood Risk Assessment.

23. Flood Risk Assessment / Exception Test

In the absence of an acceptable Flood Risk Assessment (FRA) we object to this application and recommend that planning permission is refused.

The submitted FRA does not comply with the requirements for site-specific flood risk assessments, as set out in paragraphs 30 to 32 of the Flood Risk and Coastal Change section of the planning practice guidance. The FRA

does not therefore adequately assess the flood risks posed by the development. In particular, the FRA fails to:

- consider how people will be kept safe from the identified flood hazards;
 - consider how a range of flooding events (including extreme events) will affect people and property;
 - take the impacts of climate change into account;
 - consider the requirement for flood emergency planning including flood; and warning and evacuation of people for a range of flooding events up to and including the extreme.
24. We have reviewed the Flood Risk Assessment in the Planning Statement and note that the proposed finished floor levels in Section 8.3 are to be "set at a level of 1.91m above OD". This finished floor level is below the current 1 in 200 year flood level, at 1.98m OAD, and the proposal includes a single storey ground floor residence which would be especially vulnerable during a flood incident, as there is no appropriate habitable safe refuge above the flood event.

Our LFRSA sets out that for residential development in the Christchurch Town Centre specific area we would require a minimum ground floor level of 3.6mAOD. The proposed floor levels do not look to meet this advice.

25. In our opinion the applicant should design residual flood risk out of all the development proposal completely. The final design puts forward a scheme that is reliant on interventions (flood barriers) to manage the residual flood risk for the ground floor level, for lifetime of the development. The proposed finished floor level (1.92 metres AOD) is below the current year design flood level and approximately 1.7 metres below the level required to ensure the development is safe over its lifetime. Therefore, in the event of a failure of risk management infrastructure, or to install or operate the proposed interventions, then the development could be completely inundated with flood waters up to circa 1.7m deep over its lifetime.

NOTES TO LPA

26. Flood Risk Management Infrastructure

The site is located in an area of current high flood risk that does benefit from flood defences. We would highlight that currently there is no strategic solution with appropriate funding mechanism to secure this infrastructure for its lifetime of this development.

We note that the applicant has indicated that a development nearby (55 Bridge Street) was allowed to reduce its finished floor levels from 3.3mAOD on the approved scheme to 2.25mAOD. We can confirm that we highlighted

to your Authority that the future flood defences were not to come forward or there was a failure of the defences at the end of the lifetime, there could be significant flood risk to future occupants of this development.

We also highlighted that it was essential that your Authority ensure that there is a legal contributions mechanism in place for you to hold the money until partnership funding allows delivery of the necessary improvements to the existing scheme. Your Authority was also required to ensure that the sum put forward was the appropriate amount for this scale and type of development.

One of the key issues for your Authority in regards to this matter is that there has been no Flood Risk Management Strategy, including detailed economical assessment of the options, for improving defences to confirm the required contribution from developments. Therefore, in the absence of this evidence the development must be looking to be safe for its lifetime without relying on infrastructure or interventions.

27. Flood Resiliency

In addition to the above we would highlight that National Planning Guidance states the following regarding flood resistance.

Flood-resistant construction can prevent entry of water or minimise the amount that may enter a building where there is short duration flooding outside with water depths of 0.6 metres or less. This form of construction should be used with caution and accompanied by resilience measures, as effective flood exclusion may depend on occupiers ensuring some elements, such as barriers to doorways, are put in place and maintained in a good state. Buildings may also be damaged by water pressure or debris being transported by flood water. This may breach flood-excluding elements of the building and permit rapid inundation. Temporary and demountable defences are not appropriate for new developments.

28. Access / Egress

The Council's Emergency Planners should be consulted in relation to flood emergency response and evacuation arrangements for the site. The Local Planning Authority may wish to request a Flood Warning and Evacuation Plan for future occupants and secure this through an appropriate condition. We can confirm that the site does lie within a Flood Warning area. The Environment Agency does not normally comment on or approve the adequacy of flood emergency response and evacuation procedures accompanying development proposals, as we do not carry out these roles during a flood. Our involvement with this development during an emergency would be limited to delivering flood warnings to occupants. The NPPF places responsibilities on LPA's to consult their Emergency Planners with regard to specific emergency planning issues relating to new development.

29. Summary

As proposed, there would be a significant risk to occupants within the development and we would advise against this development in this area of Christchurch. Should the LPA wish to approve this application against our advice, we ask to be re-consulted so that we may offer additional comments.

To overcome our objection, the applicant should submit a revised FRA which addresses the points highlighted above. If this cannot be achieved, we are likely to maintain our objection. Please consult us on any revised FRA submitted and we will respond within 21 days of receiving it.

- **BCP Planning Policy (see main body of report)**
 - **BCP Conservation (see main body of report for full comments)**
30. As it stands the development is considered overly dominant in this prominent corner location at the gateway to the conservation area and to be a detracting element within setting of the adjacent listed buildings. As such the development fails to preserve or enhance the character or appearance of the conservation area, and neither enhances or better reveals the significance of the listed buildings. Whilst the level of harm to the significance of heritage assets would be less than substantial, nonetheless it would present harm. The NPPF places 'great weight' on the conservation of heritage assets and the scheme is deemed contrary to paras. 193, 194, 196 & 200 of the NPPF, as well as policies HE1 & HE2 of the Christchurch & East Dorset Core Strategy, 'saved' policies H12 & BE4 of the Christchurch Borough Local Plan and the Purewell Conservation Area Appraisal & Management Plan.

Constraints

- Planning Team Areas - 0.00m
- Conservation Area - 0.00m
- Flood Zone 2 (2019) - 0.00m
- FZ3a 30cc 2093 - 0.00m
- FZ3a 40cc 2133 - 0.00m
- Flood Zone 3a (2019) - 0.00m
- Neighbouring LPA 1000m Buffer - 0.00m
- Agricultural Land Classification - 0.00m
- SSSI Impact Risk Zone - 0.00m
- CBC and EDDC Areas - 0.00m
- Areas Benefiting from Flood Defences - 0.00m

- Highways Inspected Network - 5.39m
- Highways Inspected Network - 7.07m
- Heathland 5km Consultation Area - 0.00m
- Airport Safeguarding - 0.00m
- Airport Safeguarding - 0.00m
- Coastal Area (Policy) - 0.00m
- Wessex Water Sewer Flooding - 0.00m
- Coastal Area (Open Spaces) - 188.35m
- Contaminated Land - Refuse Disposal - 89.05m
- Contaminated Land - High Risk - 73.74m
- Contaminated Land - Medium Risk - 18.94m
- Contaminated Land - Medium Risk - 6.58m

Planning Assessment

Site and Surroundings

31. The application site lies on a prominent corner plot between Stony Lane and Purewell within a mixed use area consisting of residential properties, commercial premises and a public house. The site currently forms the car park for the Starre Inn public house. It is bounded by a low boundary wall and as such is open within the street scene and covered in hard surfacing.
32. This site is in a sensitive position, it is a part of the curtilage of the listed public house and is at the gateway to the Purewell Conservation area. The adopted appraisal identifies the character at this point: *'The mixed use group of houses, shops, offices and a public house make up the western 'entrance' to the conservation area. This character area is strongly defined by historic built form with buildings hard to the back of the pavement providing positive enclosure to the street. The relatively flat topography of the area lends itself to long views into the conservation area from Bridge Street. The scale of buildings varies between two and three storey, two being dominant. Form is traditional with steep and shallow pitched roofs with eaves lines parallel to the road.'*

Principle of development

33. There is a presumption in favour of sustainable development within the NPPF. Paragraph 11 of the NPPF states that where policies which are most important for determining the application are out of date, planning permission must be granted unless policies in the Framework provide a clear reason for refusing the development proposals. Following the publication of the Housing Delivery

Test in February 2019, the Council cannot currently demonstrate a five year land supply with a 20% buffer applied. In high level terms, the Housing Delivery Test compares the net homes delivered over three years to the homes that should have been built over the same period (the housing requirement).

34. The '5 Year Housing Land Supply' document has been updated in 2020 and now only considers the housing supply in the former Christchurch Borough Council area of the adopted Core Strategy (2014). The document confirms that in the next five years of the plan period, the housing supply is 1,668 set against a target of 2,094. This results in a shortfall of 426 dwellings over the Core Strategy target which includes a 20% buffer and the previous shortfall of the Core Strategy target. This equates to a 5 year supply of **3.98 years**.
35. The site is located within a high risk flood zone and within and adjacent to designated heritage assets. Therefore, footnote 6 of paragraph 11 of the NPPF (2019) is applicable and the presumption in favour of sustainable development is not engaged;

*For **decision-taking** this means:*

(c) Approving development proposals that accord with an up-to-date development plan without delay; or

(d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date ⁷, granting permission unless:

(i) the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed ⁶; or

(ii) any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.

(6) The policies referred to are those in this Framework (rather than those in development plans) relating to: habitats sites (and those sites listed in paragraph 176) and/or designated as Sites of Special Scientific Interest; land designated as Green Belt, Local Green Space, an Area of Outstanding Natural Beauty, a National Park (or within the Broads Authority) or defined as Heritage Coast; irreplaceable habitats; designated heritage assets (and other heritage assets of archaeological interest referred to in footnote 63 in chapter 16); and areas at risk of flooding or coastal change.

36. It is considered that the NPPF and Core Strategy policies on flood risk and heritage assets provide clear reasons for refusing the application. Thereby the tilted balance is not engaged in this instance. This aspect will be further discussed in the report.

Flood risk

37. The proposed site for residential development is located entirely within the current flood zone 3 (high risk) and in the future zone 3a as identified in the Council's SFRA climate change scenarios (2019). The site is not allocated in the adopted Local Plan (2014) for residential use.
38. BCP Planning Policy have confirmed; *'The Christchurch Local Plan Review reached an 'Options' stage in 2018 and explored the option of mixed use development (including residential) within the Stony Lane / Bridge Street 'area of search'. The Starre Inne site lies outside of the 'area of search' considered as part of the previous Local Plan review and the emerging flood risk SPD. In order to consider residential development on the application site (including the wider Stony Lane South / Bridge Street Areas), an effective 'strategic' approach towards flood risk mitigation is required. The Council has been examining options to address flood risk as part of the work associated with a flood risk SPD for the Stony Lane South / Bridge Street area.*
39. *Since the formation of BCP, the Christchurch Local Plan Review is no longer being progressed and work has now commenced on a BCP Local Plan. Therefore, the weight to be attached to the Christchurch Local Plan Review 'Options' consultation is very limited. The BCP Local Plan is considering a policy approach to the Stony Lane South / Bridge Street area to enable its potential allocation but this will be dependent on the ability to identify an effective flood risk mitigation strategy informed by evidence and strategy work which is currently ongoing. Any strategy for the Stony Lane South / Bridge Street area to enable residential development will also need to be supported by the Environment Agency'.*
40. As the application site is not allocated for residential development and there is no SPD to deal with the flood risk issues, the Sequential Test will need to be undertaken before the Exception Test can be carried out. The NPPF is clear that the presumption in favour of sustainable development and the tilted balance does not apply to development within areas of flood risk (footnote 6). Therefore, whilst the LPA does not currently have a five year housing land supply, this does not outweigh the flood risk issues associated with this site.
41. The application is supported by a Flood Risk Assessment which covers both the Sequential Test and the Exception Test. The Sequential Test has identified sites within the Christchurch area which have the capacity for 7 to 9 dwellings and used the Councils Strategic Housing Land Availability Assessment as their evidence base.
42. However, Officers consider that the Sequential Test has not been passed. A number of sites have been discounted because they already have planning permission; this is not considered to be a viable reason to discount them. The National Planning Practice Guidance states; *'Also look at sites that haven't been allocated in the local plan, but that have been granted planning permission for a development that's the same or similar to the development*

you're proposing. Your local planning authority will have details of sites with planning permission'. Furthermore, the Councils five year housing land supply document has not been referred to in the submission which is an up to date document and identifies sites with planning permission and those potentially coming forward for development.

43. It is considered that there are other sites available within the five year supply which could accommodate this modest number of units within areas of lower flood risk. Inadequate evidence has been submitted to clearly demonstrate that the proposed seven units could not be located on alternative sites with a lower flood risk. Notwithstanding that Officers do not consider the Sequential Test to be passed, it is considered that the Exception Test would not be passed either.
44. The FRA states that floor levels of the development will be set at 1.91OD; however as the Environment Agency have highlighted, the proposed finished floor levels are below the current year design flood level and approximately 1.7 metres below the level required to ensure the development is safe over its lifetime. Floor levels should be set at 3.6AOD within this area. The applicant has put forward that flood resilient measures can be put in place such as; walls built with low permeability (engineering bricks); raised sockets and appliances; construction materials that dry out quickly and protected communications wiring. They have also stated that applicants will sign up to the Environment Agency's early warning system. Despite these assurances, it is still considered that the development would be unacceptable on this site and the Environment Agency have stated; *'The proposed finished floor level (1.92 metres AOD) is below the current year design flood level and approximately 1.7 metres below the level required to ensure the development is safe over its lifetime. Therefore, in the event of a failure of risk management infrastructure, or to install or operate the proposed interventions, then the development could be completely inundated with flood waters up to circa 1.7m deep over its lifetime'.*
45. Given the above, the proposal is considered to be contrary to policy ME6 of the Core Strategy and the NPPF, specifically paragraphs 155 and 163. The Sequential Test and Exception Test have not been passed as outlined above and furthermore, the proposal is not considered to bring about wider sustainability benefits to the community that outweigh the flood risk (paragraph 160 of the NPPF).

Type and size of properties

46. Policy LN1 refers to the type and size of units. The Strategic Housing Assessment (SHMA 2015) states that 2 and 3 bedroom houses are what is mostly required in the Christchurch area (see Appendix C). The proposed development provides for both 2 and 3 bed properties as well as 3 x 1 bed

apartments and as such it is considered this mix broadly coincides with the requirements as set out in the SHMA.

47. The policy also refers to the Housing Quality Indicators. Whilst these have been overtaken by the National Space Standards, they are still referred to in the adopted Local Plan and therefore part of the policy test. The 3 one bed units (2 bedspaces) measure between 37.9sqm and 49.6sqm; the proposed two bed houses (4 bedspaces) are 61.8sqm and 62.3sqm and the three bed (6 bedspaces) houses measure 85.3sqm. The HQI for Unit Size suggests that for a 4 bedspace unit (2 double bedrooms), the internal space should be between 67sqm and 75sqm and the internal space for a two bedspace (1 double bedroom) unit must be between 45 – 50sqm. For a 6-bedspace unit (3 bedrooms), the internal area should be 95-100sqm.
48. Therefore, with the exception of 2 one bedroom units, the proposal is not considered to meet the HQI for Unit Sizes and does not comply with this aspect of Policy LN1. The National Design Space Standards although not adopted as part of Policy have superseded the HQI's in Central Policy and the units do not meet the size thresholds for these up to date criteria either. Therefore, although it is clear that policy LN1 has limitations in regards to its compatibility with the NPPF, the above figures do indicate that the proposed units are compromised in terms of their size and do not offer adequate residential accommodation.

Design, form and layout

49. Core Strategy (CS) Policy LN2 requires that the design and layout of new housing development should maximise the density of development at a level which is acceptable for the locality. CS Policy HE2 complements the design requirements in section 7 of the NPPF by requiring that development be compatible with or improve its surroundings in relation to 11 criteria including layout, site coverage, visual impact and relationship to nearby properties.
50. The proposed development would be predominantly two and half storeys in height and dropping to two storey on either end of the terrace. It would have a traditional appearance with dormer windows and a curved elevation and roof form to address the corner. There would be considerable site coverage with very modest rear gardens for the houses and a shared modest garden area for the flats. The existing site access would be utilised leading to an area of hard surfacing for vehicle and cycle parking and bin storage.
51. Bridge Street and Purewell are characterised by terraced properties of varying heights which abut the pavement creating a relatively enclosed street scape. This proposal does to a degree mirror this pattern of development. However, given the significance of the adjacent heritage asset of the Starre Inn, the overall layout and design form is not considered to be acceptable. This is explored in detail below.

52. Although the site is relatively small, the overall legibility and permeability of the layout is poor. The four dwelling houses, which are most likely to have the parking spaces at the rear have their main access points along Stony Lane South and on Purewell and there is no pathway to the front of the site, in particular for Units 1 and 2. The separation distance to the Riversmeet Court to the south is acceptable as the intervening driveway provides this space between the buildings and the scale of the development is compatible with this adjacent building and the larger three and half storey retirement development on the opposite side of Stoney Lane South.
53. However, as the proposed unit sizes are inadequate and the layout appears cramped with inadequate pedestrian links, it is considered this is overdevelopment of the site and the development has insufficient regard to its surroundings and does not appear compatible or improve the local area, contrary to policy HE2.

Heritage assets

54. Local Plan Policy HE1 (Valuing and Conserving our Historic Environment) sets out that heritage assets are an irreplaceable resource and will be conserved and where appropriate enhanced for their historic significance and importance locally to the wider social, cultural and economic environment. The Policy states that; *'The significance of all heritage assets and their settings (both designated and non-designated) will be protected and enhanced especially elements of the historic environment which contribute to the distinct identity of the area'*.
55. A statutory duty exists under section 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 ('the Act') for the local planning authority in considering whether to grant planning permission for development that affects a listed building or its setting to have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses. Section 72(1) of the Act requires that special attention shall be paid to the desirability of preserving or enhancing the character or appearance of a conservation area. These requirements necessitate considerable importance and weight being given to any heritage harm identified.
56. The proposed development would be built on land that has been used as a car park for the public house. The Starre Inn is grade II listed, dates from the eighteenth century and benefits from a good survival of historic fabric such as traditional windows, projecting bays and roofing materials. This building forms a group with both those listed buildings in the Purewell West character area and also an important historic group with the two other public houses of this date in the conservation area. The Conservation Area Appraisal states; *'The car park to the Starre Inn makes a poor contribution to the 'entrance' to the conservation area and defined the setting of this listed building especially in views into the conservation area'*.

57. BCP's Conservation Officer has provided the following comments; *'Whilst there is scope to enhance the gateway to the conservation area with a carefully considered development of an appropriate scale, the presented scheme is not adequately subservient to the adjacent listed building. Contrary to para 4.2 of the submitted Planning and D & A Statement, the proposed development would have a poor relationship with the listed building, the scale and height of which would have a competing impact. The ridge height of the main body of the new building would be noticeably higher than the former Starre Inn, with the three-storey nature of the new build overscale in relation to the more modest two storeys of the pub. The extent of the new build sweeping right around the corner and infilling up to the vehicle access would be overly prominent and also result in an undesirable blockage of views towards the side and rear of the listed buildings at no. 7-9 (former Starre Inn) and no. 11 Purewell. Further, placing the bin store and cycle store right up against the rear of the listed building is not welcomed, its presence exacerbated by the flat roofed utilitarian appearance the structure.*
58. *The Heritage Statement (para. 7.24) seems narrow in its remit in suggesting that because the street scene is characterised by varied eaves and ridge heights there is no overriding reason for the proposed development to reflect the parameters of the heritage assets. A more sympathetic development would pay greater attention to the significance of the setting of the adjacent listed buildings and in particular the former Starre Inn. It would appear the form of the development is being more strongly driven by the function (i.e the number of units sought) than the heritage constraints and the scope for change... In this instance the new building would be in extremely close proximity to the listed pub, would impact upon key views towards various heritage assets, would be a prominent and distracting feature adjacent to the pub, would change the character at this point, as well as being a permanent intervention'.*
59. The design solution proposed picks up on features characteristic to the buildings which make a positive contribution to the Conservation Area and its design would be more clearly informed by the historic character of the area than Priory Lodge opposite for example. There are also benefits in developing what is noted is a negative part of the Conservation Area at a key gateway.
60. However, for the reasons above, it is considered less than substantial harm is caused to the setting of the listed building and the character and appearance of the Conservation Area. Paragraph 196 of the NPPF states that this harm should be weighed against the public benefits of the proposal. In this case, it is considered the public benefits of providing 7 units of housing and employment during the construction phase does not override the harm caused to the setting of the Starre Inn and Purewell Conservation Area. Given the significant flood risks associated with this site and the potential compromising

of the operation of the pub from the redevelopment of its car park, there are no other public benefits arising from the proposal to weigh against this harm.

Residential Amenity

61. The proposed development would be sited to the north of the flats in Riversmeet Court and the access would separate the buildings. There is one first floor window proposed on the southern end of Unit 7 serving the stairwell which is not considered to result in any loss of privacy to the neighbouring building. The north east elevations of the building would face the side of the Starre Inn and there are no first floor openings on the side of this building. The ground floor windows would be screened by the proposed close boarded fencing and hedging along the side of the new building.
62. The future occupants of 3 of the 4 dwelling houses do have very modest rear amenity spaces; whilst it appears from the site plan that the three flats and one house have a very small area of shared space. This is not ideal; however given the urban location and the site's close proximity to the SANG at 2 Riversmeet, it is not considered that the provision of amenity space is completely inadequate.
63. There would be an element of mutual overlooking within the rear of the site with the provision of first floor bedrooms for the 4 terraced units. However, none of the windows would result in direct views into each property. The second floor units are all served by dormer windows and rooflights on the front elevation with the exception of the upper landing/hall for unit 7.
64. The proposed relationship between the residential properties and the existing public house raises issues surrounding noise and disturbance. BCP Environmental Health have raised concerns that '*there is a strong possibility that noise from the pub will impact on residents of these proposed dwellings*'. A condition is recommended to ensure any noise is mitigated against. This issue has not been investigated further given the objection to the principle of development on flood risk grounds. In urban areas, the proposed relationship is not uncommon. However, a noise assessment could need to be undertaken prior to permission being granted to examine what the existing noise levels are from the public house and what mitigation is required.
65. As outlined above, the proposed units are not considered to be of an adequate size in relation to policy LN1. The living environment for future residents will be poor and the layout of the site with restricted access from the parking area to the front of the properties emphasises the tight nature of the proposal. Therefore, it is considered that the design and layout of the development has not minimised the impact on residential amenities of the future occupants and as such it is not in accordance with policy HE2 of the Local Plan.

Parking and Access arrangements

66. Core Strategy Policy KS12 sets out that adequate vehicle and cycle parking facilities must be provided by the developer to serve the needs of the proposed development. Cycle and vehicle parking for residential development should be of the highest quality design and use land efficiently.
67. The existing access point onto the site is being utilised for this development and four parking spaces are being provided. It is recognised that this is a sustainable location; however under the current parking standards, this is a shortfall of 4 spaces (if unallocated). The applicant has referred to the draft BCP Parking Standards SPD which has just been out for consultation. In this document, a reduced amount of parking is required given the location within Zone B. The three flats would not require any parking and one space would be required for each house. It is clearly recognised that the current provision is more in line with the emerging SPD; however at the time of determination of this application, it has not been adopted by the Council as an SPD. There is no on street parking within the immediate vicinity although the site is within close proximity of a public car park. The proposal is providing 8 cycle parking spaces which is considered to be sufficient. On balance, given the sustainable location of the site and the emerging direction on the provision of parking it is not considered the proposal could be refused on these grounds.
68. The proposal results in the loss of all parking for the public house and there is no safe drop area for visitors to the Starre Inn. The applicant has stated that the pub does not require this on-site parking and there is a public car park within walking distance from the site. BCP Highways have raised concern that; *'It is likely picking up and dropping off will occur outside of the entrance to the Starre Inn on Purewell, in close proximity to the signalised junction. This is considered to present a safety risk. It has not been demonstrated that sufficient parking can be accommodated on site without impacting upon the safety or operation of the highway network.'*
69. An assessment has also been undertaken to determine the trips generated by the existing and proposed uses. It is concluded that there would be a reduction in trips generated from the residential use. BCP Highways are satisfied with this conclusion. Concerns have also been raised with regards to the refuse and recycling storage and collection, specifically its location being further than 10m from the kerbside and the size of the waste storage building. This could be dealt with by condition but does provide further evidence the site is overdeveloped and that there is insufficient space to accommodate acceptable waste provision.
70. However, it is considered that given the lack of parking and servicing area for the Starre Inn, this would result in highway safety issues, contrary to policy KS11 of the Core Strategy.

Biodiversity and Heathland

71. The application site lies within 5km but beyond 400m of Dorset Heathland which is designated as a Site of Special Scientific Interest and as a European wildlife site. The proposal for a net increase in residential units is, in combination with other plans and projects and in the absence of avoidance and mitigation measures, likely to have a significant effect on the site. It has therefore been necessary for the Council, as the appropriate authority, to undertake an appropriate assessment of the implications for the protected site, in view of the site's conservation objectives.
72. The appropriate assessment has concluded that the mitigation measures set out in the Dorset Heathlands 2015-2020 SPD can prevent adverse impacts on the integrity of the site. The SPD strategy includes Heathland Infrastructure Projects (HIPs) and Strategic Access Management and Monitoring (SAMM). In relation to this development the Council will fund HIP provision via the Community Infrastructure Levy but SAMM, which forms the second strand of the strategy, requires that contributions be secured via s106 from all development where there is a net increase in dwellings. The strategic approach to access management is necessary to ensure that displacement does not occur across boundaries.
73. This application is not accompanied by a unilateral undertaking or a mechanism to transfer the contribution originally made to this current application and as such there is no mechanism to secure the necessary contribution towards Strategic Access Management and Monitoring in accordance with the Dorset Heathlands SPD. This contribution does not relate to the provision of infrastructure so it is not subject to pooling restrictions, is reasonable and necessary; the contribution complies with Regulations 122 and 123(3) of the Community Infrastructure Levy Regulations 2010 (as amended). Without this mitigation secured the development could result in an adverse effect on the integrity of the designated site and is therefore not in accordance with policy ME2.
74. Given the existing use and lack of vegetation on the site, no ecological survey was required. However, the NPPF encourages development to provide for net biodiversity gain. Therefore, as advised by Natural England enhancement measures such as bat brick/tile and bat appropriate lighting should be incorporated into the scheme. This could be secured by condition and would be compliant with policy ME1 of the Local Plan and the NPPF.

Planning Balance

75. As stated in previous paragraphs, the tilted balance does not apply to this proposal where the NPPF provides clear reasons for refusal. The development would make a modest contribution to the housing supply; however the flood risk constraints on the site, the harm caused to the heritage assets and highway safety implications clearly outweigh this benefit. The

Local Plan policies and NPPF provide clear reasons that this proposal is not acceptable and does not provide a form of sustainable development.

RECOMMENDATION

Refuse, for the following reasons;

1. The proposed development by reason of its location within the current Flood Zone 3 and future Flood Zone 3a, will result in unacceptable flood risks on the site and increase flood risk elsewhere. The Sequential Test has not been passed and the Exception Test has not been satisfactorily addressed. The proposed floor levels are below the level required to ensure the development is safe over its lifetime. As such the proposal is contrary to policy ME6 of the Local Plan and Section 14 of the NPPF (2019).
2. The proposed development by reason of its relationship with the adjacent Grade II listed building, The Starre Inn, its scale and extent of built form would result in harm to the setting of the heritage asset. This poor relationship would have an adverse impact on the character and appearance of the Purewell Conservation Area. This less than substantial harm is not outweighed by any public benefits of the scheme. As such, the proposal is considered to be contrary to Policy HE1 of the Local Plan and Section 16 of the NPPF (2019).
3. The proposed development by reason of the layout and size of the accommodation would result in a cramped and tight proposal and a poor living environment for future residents. As such, the proposal is considered to be contrary to Policies HE2 and LN1 of the Local Plan.
4. The proposed development by reason of the loss of parking and any servicing area for the public house would result in highway safety risks from picking up, dropping off and deliveries on Purewell, close to the signalised junction. The proposal would impact on the safety and operation of the highway network contrary to policy KS11 and KS12 of the Local Plan.
5. The proposal is within 5km of a Site of Special Scientific Interest (SSSI). This SSSI is also part of the designated Dorset Heathlands SPA (Special Protection Area) and Ramsar site and is also part of the Dorset Heaths SAC (Special Area of Conservation). The proximity of these European Sites (SPA and SAC) means that determination of the application should be undertaken with regard to the requirements of the Habitat Regulations 1994, in particular Regulations 48 and 49. If the Council had been minded to grant permission in all other respects it would have to carry out an appropriate assessment in accordance with the advice and procedures set out broadly in Circular 06/2005. The applicant has failed to demonstrate in accordance with the Habitat Regulations that the

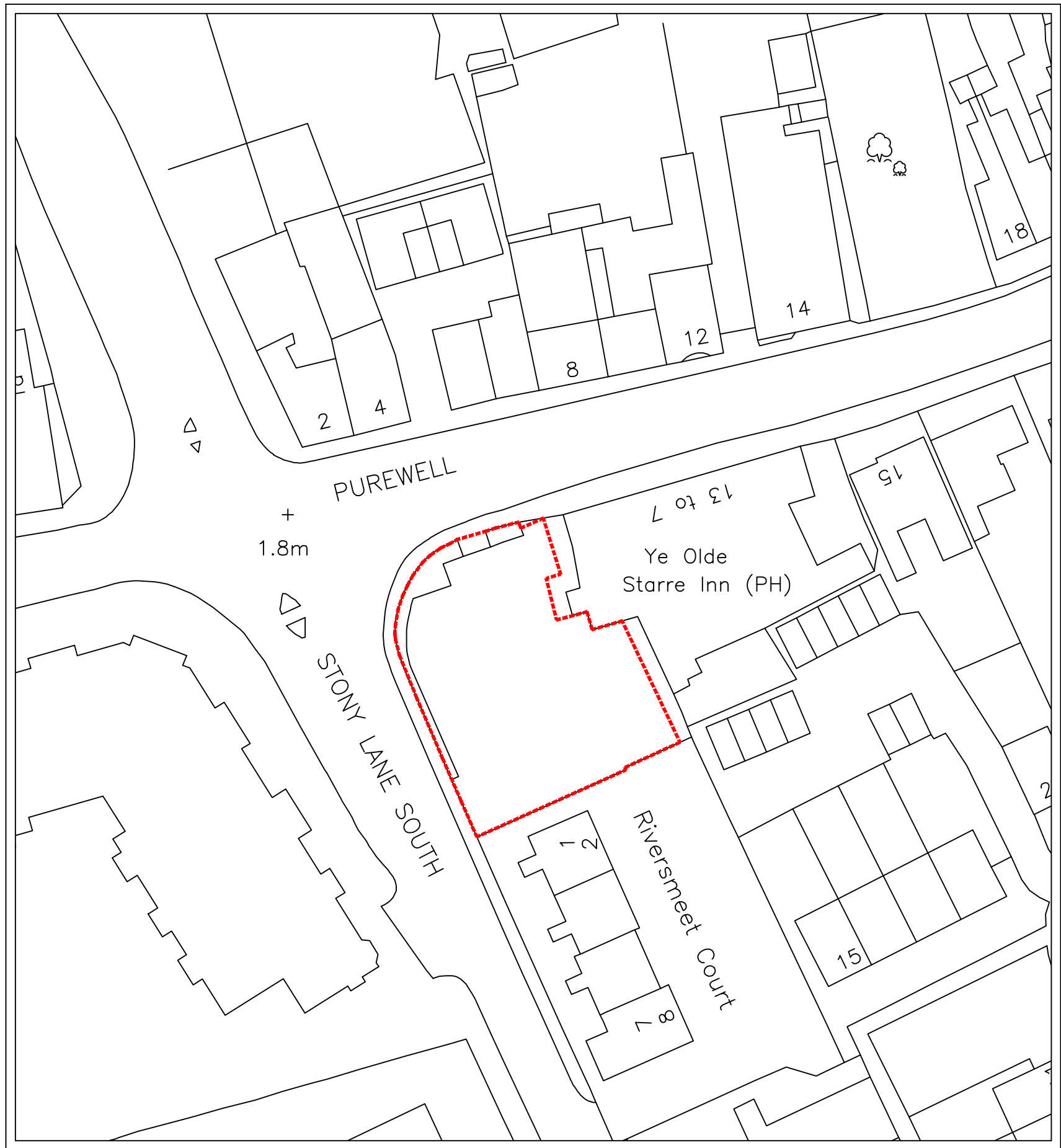
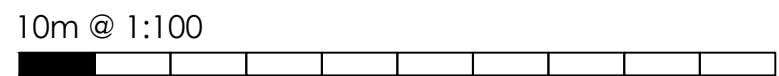
proposals will cause no harm to the SPA and SAC heathland. It is clear, on the basis of advice from Natural England that, the proposed development would in combination with other plans and projects within close proximity to heathland and in the absence of any form of acceptable mitigation be likely to have an adverse effect on the heathland special features including those which are SPA and SAC features. Having regard to the Waddenzee judgement (ECJ case C-127/02) the Council is not in a position to be convinced that there is no reasonable scientific doubt to the contrary. For these reasons, and without needing to conclude the appropriate assessment, the proposal is considered contrary to the recommendations of the Berne Convention Standing Committee on urban development close to the Dorset Heathlands and also the provisions of the Dorset Heathlands Planning Framework 2015-2020 Supplementary Planning Document (SPD), which took effect on 3rd January 2017.

Background Papers

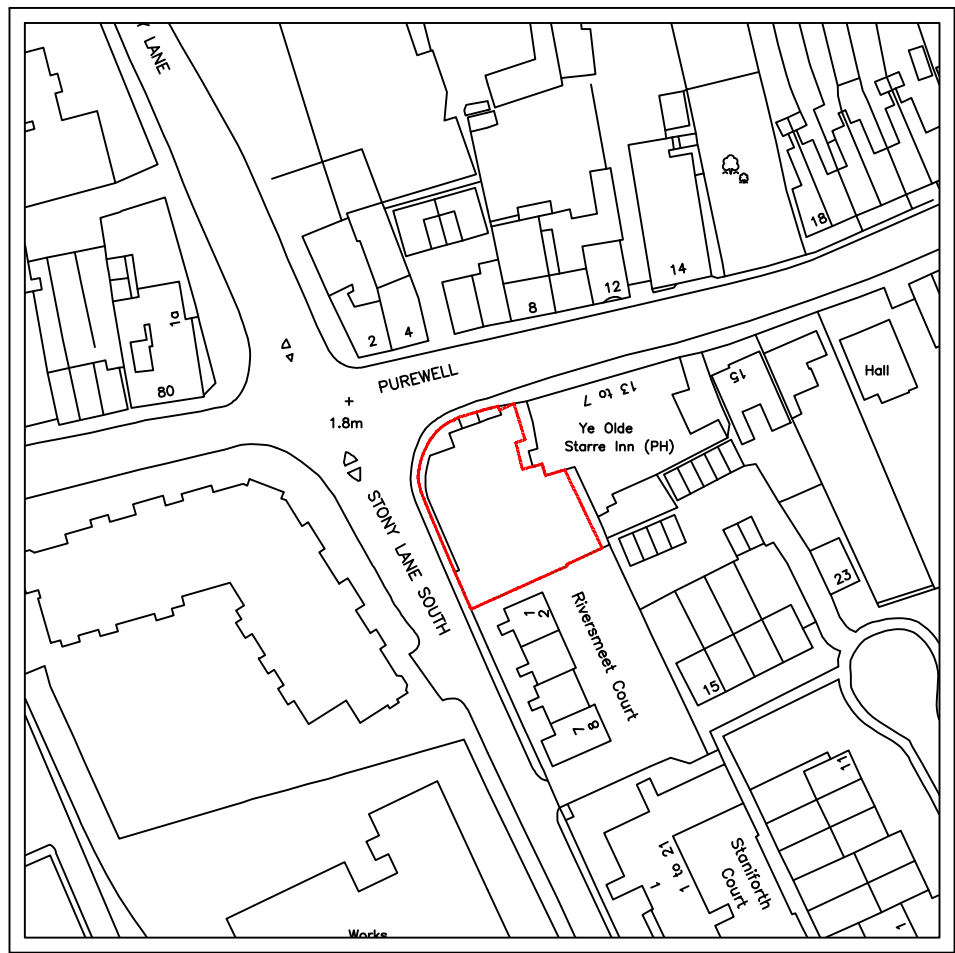
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SITE PLAN: BASED ON TOPOGRAPHICAL SURVEY INFORMATION
SCALE 1:100



BLOCK PLAN: BASED ON ORDNANCE SURVEY EXTRACT
O.S LICENSE NO. - 100007080
SCALE 1:500



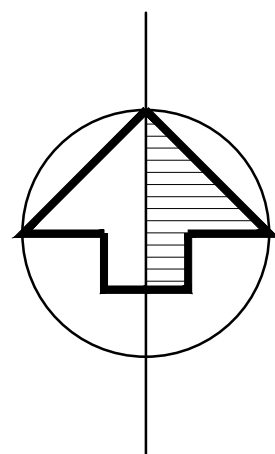
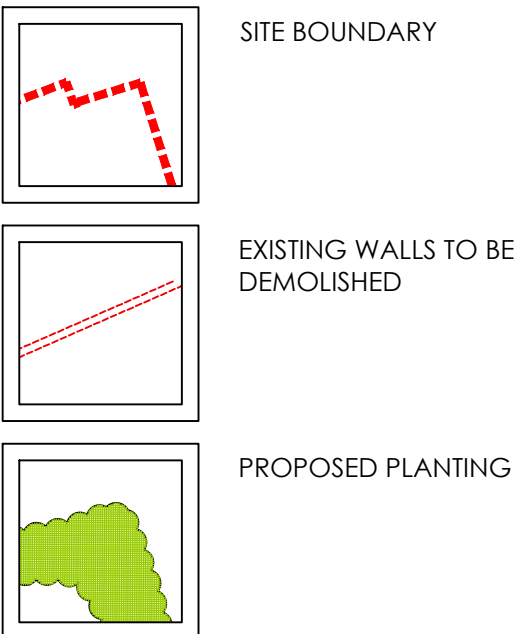
LOCATION PLAN: BASED ON ORDNANCE SURVEY EXTRACT
O.S LICENSE NO. - 100007080
SCALE 1:1250



NOTES

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5. Please note a domestic sprinkler system may be required - check with your building control inspector
6. Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
7. Stair design to be independently checked by stair fabricator for regs. compliance, prior to construction/ ordering.
8. MacLennan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs. - ARC carry no responsibility for basement designs in terms of waterproofing or structure in any way.
9. "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
10. Any discrepancies between specification notes and details must be clarified for design intention with ARC before continuing with construction.
11. At Building Regulation stage our instruction is to gain a certificate of building regulations compliance from the chosen inspector (LA or Private).
12. To ensure compliance with EWS1 fire safety forms an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package, if you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only be used for planning purposes.
15. Mechanical ventilation may be required to basement car parks and apartment lobbies

LEGEND



SITE AREA: 0.061 HECTARES / 0.152 ACRES

PARKING SPACES = 4

PROPOSED GIA - 478.2 SQM / 5147 SQFT

| | | | |
|----|---|----------|----|
| C. | Visibility splay added following comments | 24.09.20 | WD |
| B. | Parking spaces / cycles amended | 09.09.20 | TC |
| A. | Scale bars & boundary notes added. | 17.07.20 | WD |

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

PROPOSED DEVELOPMENT,
R / O YE OLDE STARRE INN
7-9 PUREWELL,
CHRISTCHURCH,
BH23 1EH

SITE, BLOCK & LOCATION PLAN

| | | | |
|------------|----------------|---------|---------|
| scale | AS SHOWN @ A1 | checked | JTR |
| date | SEPTEMBER 2019 | drawn | WD / TC |
| FB6952/100 | | A. | B. |
| | | C. | |
| | | | |
| | | | |
| | | | |
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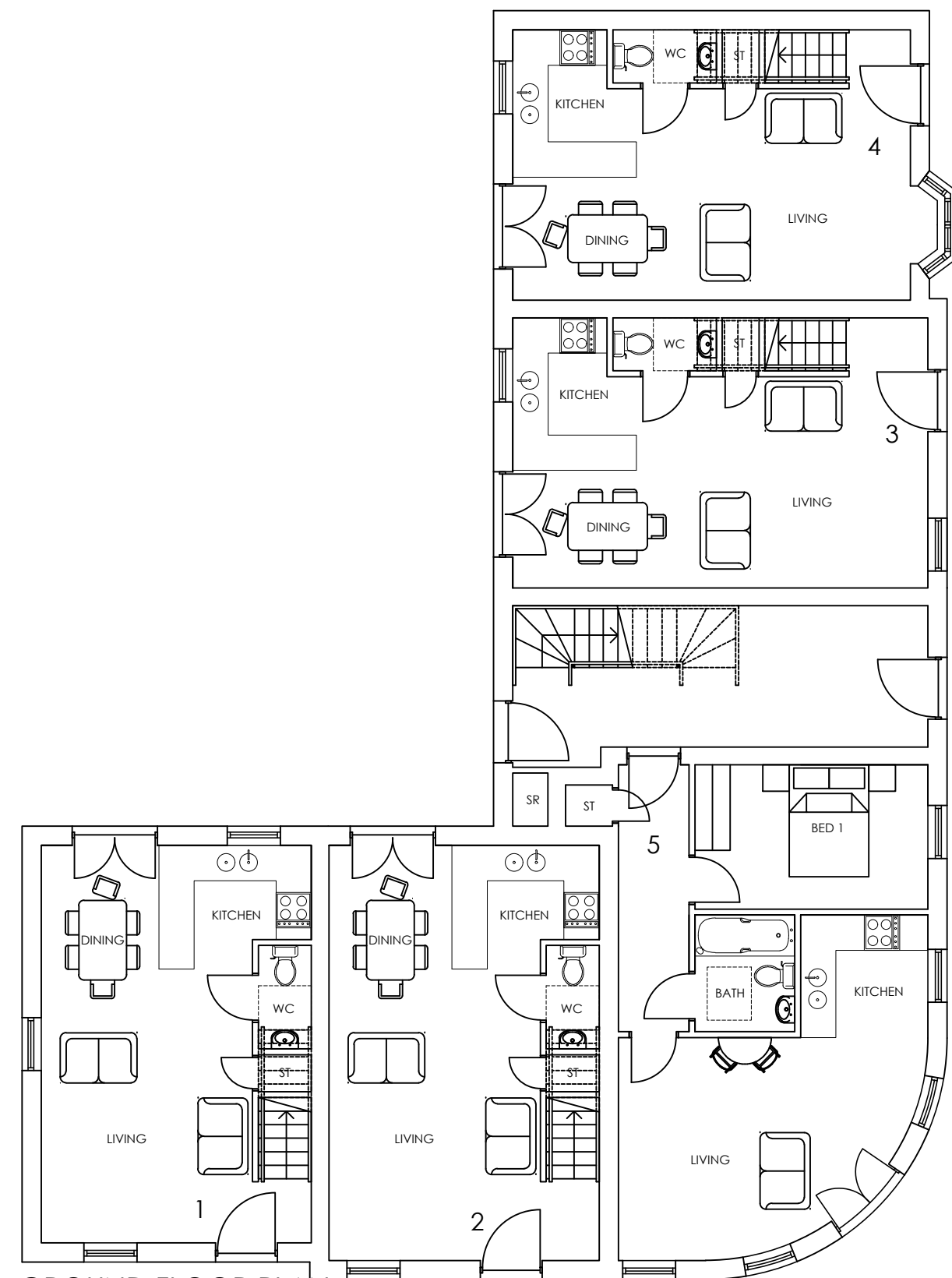
FRONT SOUTH EAST ELEVATION
SCALE 1:100

SIDE SOUTH WEST ELEVATION
SCALE 1:100

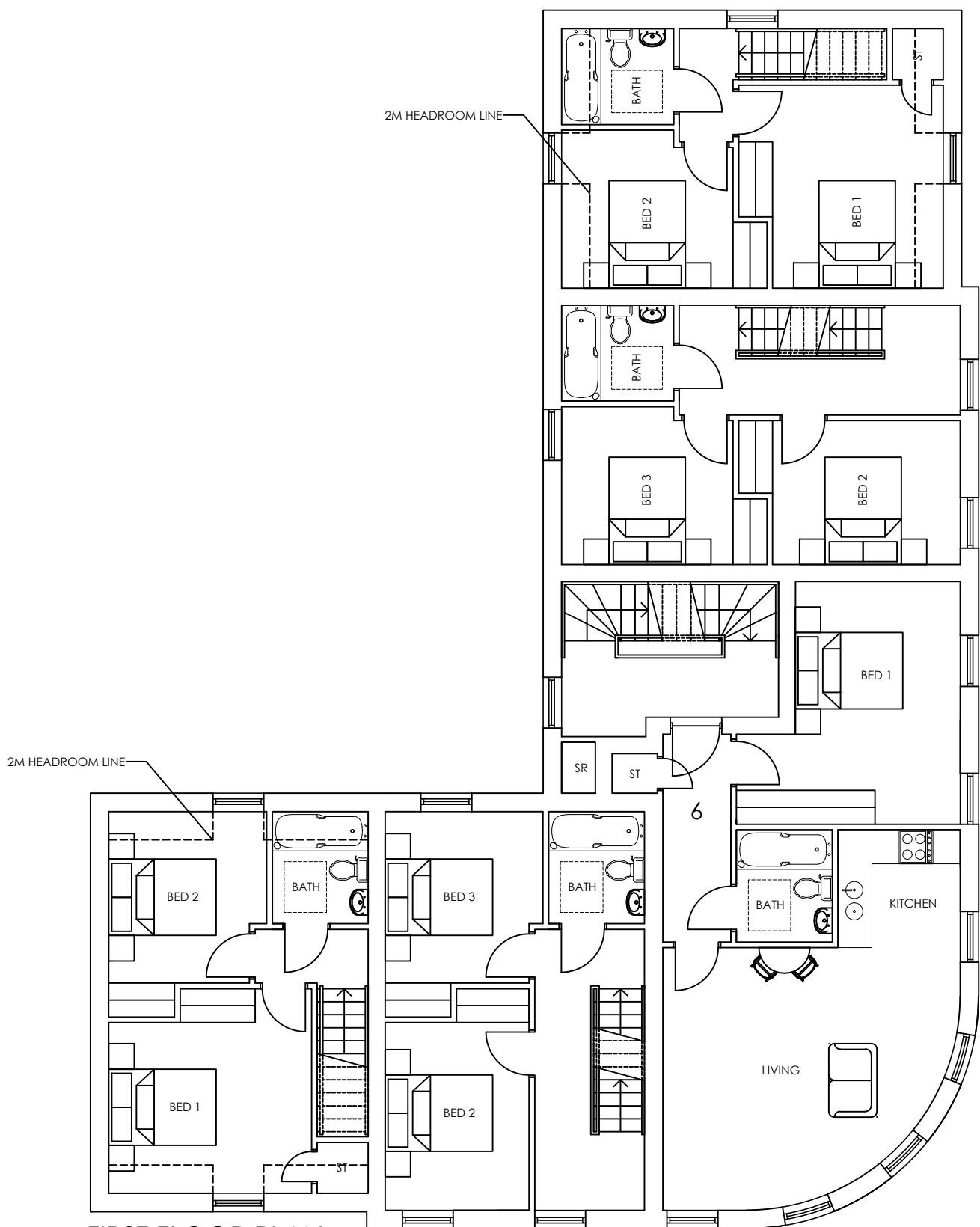


REAR NORTH WEST ELEVATION
SCALE 1:100

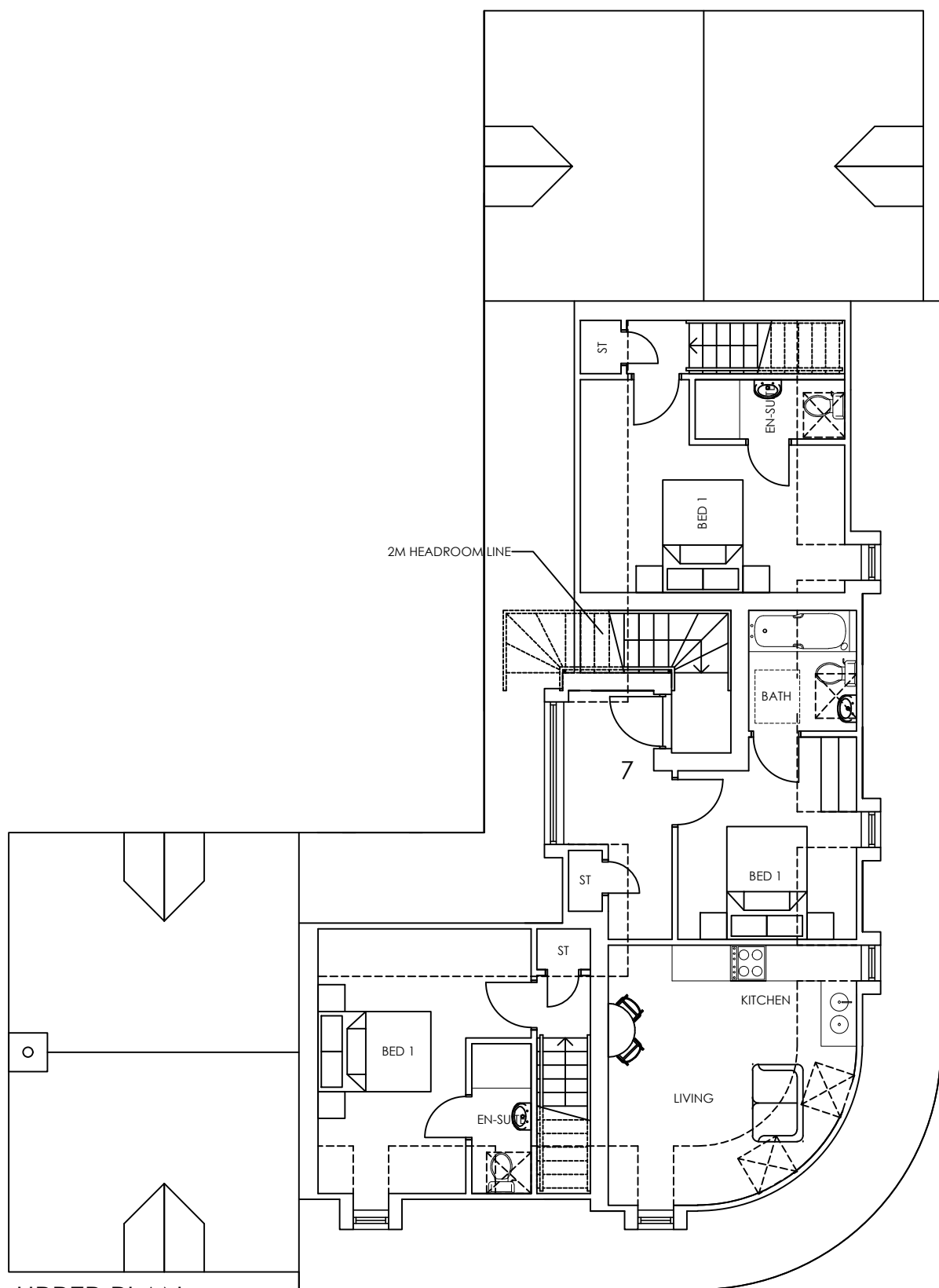
SIDE NORTH EAST ELEVATION
SCALE 1:100



GROUND FLOOR PLAN
SCALE 1:100



FIRST FLOOR PLAN
SCALE 1:100



UPPER PLAN
SCALE 1:100

NOTES

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- 3 Contractors must verify all dimensions and report any discrepancies before putting work in hand or making any shop drawings.
- 4 All flat roofs to be fitted with a man safe system.
- 5 Please note a domestic sprinkler system may be required.
- 6 Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations)

LEGEND

| UNIT NO. | BEDS | SQM | SQFT |
|------------|------|-------|------|
| 1 | 2 | 61.8 | 665 |
| 2 | 3 | 85.3 | 918 |
| 3 | 3 | 85.3 | 918 |
| 4 | 2 | 62.3 | 670 |
| 5 | 1 | 41.8 | 449 |
| 6 | 1 | 49.6 | 533 |
| 7 | 1 | 37.9 | 407 |
| AREA TOTAL | | 424.0 | 4563 |

MATERIALS SCHEDULE:

- EXTERNAL WALLS:-
- RED BRICK & PAINTED BRICK
- WINDOWS & DOORS:-
- UPVC
- ROOF:-
- SLATE EFFECT TILES
 - CLAY EFFECT TILES

| No. | Revision. | date | by |
|-----|-----------|------|----|
|-----|-----------|------|----|

PROPOSED DEVELOPMENT,
R / O YE OLDE STARRE INN
7-9 PUREWELL,
CHRISTCHURCH,
BH23 1EH

FLOOR PLANS & ELEVATIONS

| | | | |
|------------|---------------|---------|----|
| scale | AS SHOWN @ A1 | checked | // |
| date | JUNE 2019 | drawn | WD |
| FB6952/101 | | | |

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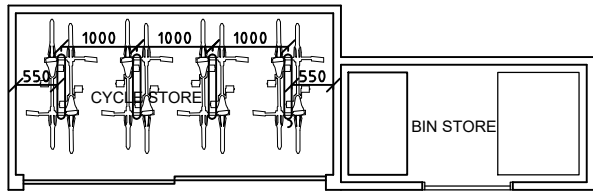
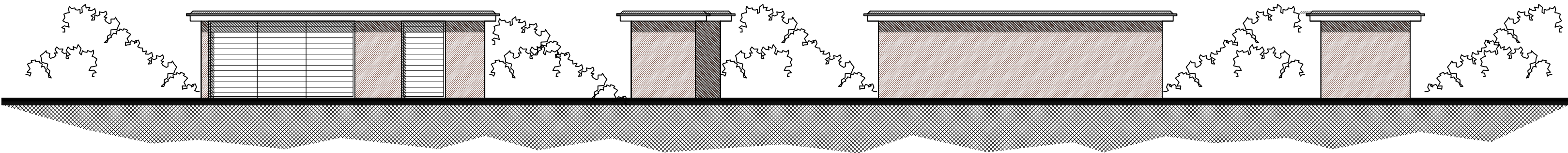


STREET SCENE (PUREWELL ROAD)
FOR INDICATIVE PURPOSES ONLY
SCALE 1:100



STREET SCENE (STONEY LANE SOUTH)
FOR INDICATIVE PURPOSES ONLY
SCALE 1:100

NO BOUNDARY TREATMENT TO
EXCEED 0.6M HIGH WITHIN 2M X 2M
VISIBILITY SPLAY



BIN & BIKE STORE PLANS & ELEVATIONS
SCALE 1:100

- NOTES
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LEGEND

| | | | |
|-----|---|----------|----|
| B. | Visibility splay added following comments | 24.09.20 | WD |
| A. | Cycles amended | 09.09.20 | TC |
| No. | Revision. | date | by |

PROPOSED DEVELOPMENT,
R / O YE OLDE STARRE INN
7-9 PUREWELL,
CHRISTCHURCH,
BH23 1EH

STREET SCENES & BIN & BIKE STORES

| | | | |
|------------|----------------|---------|---------|
| scale | AS SHOWN @ A1 | checked | JTR |
| date | SEPTEMBER 2020 | drawn | WD / TC |
| FB6952/102 | A. | B. | |

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| | |
|---|---|
| Application Address | 2A Martello Park, Poole, BH13 7BA |
| Proposal | Construction of a 2 bedroom flat to comprise the fifth floor of an apartment building previously approved by Planning permission APP/14/00597/F granted for a 4 storey block of apartments as amended by S.73 APP/16/01136/F on land at 2A Martello Park, Poole |
| Application Number | APP/20/01013/F |
| Applicant | Fortitudo Ltd |
| Agent | Chapman Lily Planning Ltd |
| Date Application Valid | 30 September, 2020 |
| Decision Due Time | 25 November, 2020 |
| Extension of Time date (if applicable) | |
| Ward | Canford Cliffs |
| Recommendation | Refuse |
| Reason for Referral to Planning Committee | This application is brought before committee as there have been 20 representations received within the initial notification period, based on material planning issues, from separate addresses that are contrary to the recommendation of the planning officer. |

Description of Development

1. Planning consent is sought for the construction of a 2-bed flat to form an additional floor on an 4-storey apartments building (previously approved by APP/14/00597/F as subsequently amended by APP/16/01136/F).

Key Issues

2. The main considerations involved with this application are the impact on:

- Local patterns of development and neighbouring buildings
- Neighbour amenity
- Parking/highway safety

Planning Policies

3. Poole Local Plan (Adopted 2018)

| | |
|------|--|
| PP01 | Presumption in favour of sustainable development |
| PP02 | Amount and broad location of development |
| PP07 | Facilitating a step change in housing delivery |
| PP08 | Type and mix of housing |
| PP27 | Design |
| PP28 | Flats and plot severance |
| PP31 | Poole's coast and countryside |
| PP32 | Poole's important sites |
| PP33 | Biodiversity and geodiversity |
| PP34 | Transport strategy |

- PP35 A safe, connected and accessible transport network
- PP37 Building sustainable homes and businesses
- PP39 Delivering Poole's infrastructure

4. Supplementary Planning Document

- SPD1 Parking & Highway Layout in Development
- SPD3 Dorset Heathlands Planning Framework (2020-2025)
- SPD5 Poole Harbour Recreation SPD (2019-2024)
- SPD6 Nitrogen Reduction in Poole Harbour (Adopted Feb 2017)

5. Supplementary Planning Guidance

- SPG3 Shoreline Character Areas

6. National Planning Policy Framework (February 2019)

Relevant Planning Applications and Appeals:

2014: Demolish the existing dwelling and construct a block of 4 apartments with associated parking. **Approved.** (APP/14/00597/F)

2016: Variation of condition 11 of permission APP/14/00597/F where design development has lead to a change in the height of the design submitted. Minor alterations to landscaping. Minor alterations to front elevation. **Approved.** (APP/16/01136/F)

2017: Construct 5 (2-bed) apartments with associated parking. **Refused.** (APP/17/01005/F) The application was refused for the following reasons:

1) The proposed block of 5 flats, of the increased height and bulk at roof level would be conspicuous in the skyline, rising higher than adjacent flats and would be obtrusive in wider views, so that it would be contrary to Policies PCS23 of the Poole Core Strategy adopted 2009, and Policies DM1 and DM4 of the Poole Site Specific Allocations and Development Management Policies adopted 2012.

2) The proposed block of 5 flats with balconies along the rear elevation would create loss of privacy to the occupiers of flats within the adjoining South Lodge and Leyton Conyers by reason of direct and perceived overlooking. This together with the oppressive effect the additional height would have, by reason of the relatively close proximity to windows in South Lodge, would be detrimental to the reasonable living conditions occupiers of those flats would expect to enjoy. Therefore, the proposal is contrary to PCS5 and PCS23 of the Poole Core Strategy adopted 2009, and DM1 of the Poole Site Specific Allocations and Development Management Policies adopted 2012.

The third refusal reason related to the development's proximity to Dorset Heathlands but acknowledged that this could be addressed by way of an Undertaking to respond to the Appropriate Assessment requirements.

2018: Non-material amendment following approval of 14/00597/F to allow addition of glass Juliette balconies to first, second and third floor windows to bedroom 2 and study on north elevation. **Approved.** (APP/18/00972/F)

2020: Non-material amendment following approval of APP/14/00597/F For: Various changes of materials to external elevations and minor alterations to the internal layout of the flats. **Approved.** (APP/20/01021/F)

Representations

8. In addition to letters to neighbouring properties, site notices were posted outside the site on 8 October, 2020 with an expiry date for consultation of 1 November 2020.

9. A total of 51 representations have been received, some people having written more than once.

10. 29 representations object to the application and raised the following concerns:

- Harm to character and appearance of the area
- Inappropriate scale and design
- Overdevelopment
- Same concerns remain as those which resulted in the previous application (Ref: APP/17/01005/F) being refused
- Harmful overlooking and loss of privacy
- Loss of light
- Overbearing
- Insufficient parking
- Highway safety
- Precedent
- Disruption during construction works

11. 22 representations support the application on the following grounds:

- Acceptable size and design which compliments the existing building and surrounding area
- No unacceptable harm to neighbour amenity
- A five storey building has been approved elsewhere in Martello Park
- Government are encouraging building upwards following recent changes to permitted development rights

Consultations

12. BCP Highways Authority: No objection, subject to conditions being imposed on any planning permission relating to parking/turning and cycle parking.

Constraints

13. The application site is within the Coastal Zone and Shoreline Character Area.

Planning assessment

Site and Surroundings

14. The application site is positioned at a bend in the road in Martello Park which is a cul-de-sac.

15. A large, four-storey, unfinished and unoccupied block of flats occupies the application site. The main structure of the building is understood to have been built more than two years ago, but a substantial amount of work would still be required to complete the building and make it habitable.

16. To the rear (south) at the end of the garden area are the cliffs beyond which are the promenade and sea. The site is tapered in shape with its side boundaries close to adjoining flats in Leyton Conyers and South Lodge.

Key issues

Local patterns of development and neighbouring buildings

17. The design of the proposed new storey is contemporary and reflects the design of the existing building. However, as a result of the proposed rooftop extension, the building would be over 15 metres high. This represents an increase in height of over 3 metres when compared with the original 2014 planning permission (which granted permission for a building approximately 11.8 metres in height).

18. The current proposal would significantly increase the prominence of the building when viewed from outside the site, notably within Martello Park when viewed in either direction and from the nearest neighbours but also including from the sea and above the tree line. The current proposal would be further recessed from the existing side elevations than the scheme refused in 2017 (APP/17/01005/F). This would slightly reduce its perceived bulk. However the height of the proposal would be virtually identical to the previously refused scheme and would result in a conspicuous additional storey on an already sizeable and prominent building close to neighbouring buildings. To confirm the concern, the proposal would result in a building over 5 metres higher than South Lodge (to the highest point) and over 3 metres higher than Leyton Conyers. In the wider landscape the new flats block would be visually prominent, rising above neighbours and trees and visible from far afield, including from the sea.

19. The applicant's agent asserts that the prominence of the building justifies a different assessment to character being taken. The addition of a further storey atop the existing building however would simply make the resultant building appear significantly higher than anything nearby and make it appear overly dominant and imposing.

20. Comparison has been drawn to Burnage Court, further along the cul-de-sac, that was granted permission in 2016 for a replacement apartment building, but this is not as high as the current proposal; is in a significantly more secluded position; and its relationship to adjoining development differs. The context is clearly very different when compared with the application site.

21. The proposed additional height to the existing building would be positioned more than 40 metres back from the cliff edge but its additional height would increase its prominence (as described in 17-19 above) in the context of adjacent flatted

development. It would result in harm to the area's visual amenities.

22. The applicant's agent and some comments received in support of the application refer to recently introduced permitted development rights contained in Part 20, Classes ZA and A of the General Permitted Development Order. Subject to certain criteria being met, these Classes allow for the creation of additional storeys. The application building does not benefit from these rights. Class ZA which allows for the construction of replacement buildings only applies to buildings constructed before 1990. Class A which allows for the construction of additional storeys on existing buildings only applies to buildings constructed before March 2018. In addition, both of the permitted development rights are also subject to a prior approval procedure. The Local Planning Authority is required to consider a range of issues before deciding whether or not to grant prior approval. These include, amongst other things, the design and external appearance of the building and impacts of the development on the amenity of neighbouring properties. Recent changes to permitted development rights are acknowledged however they are not applicable at this site and no permitted development fall-back position has been established.

Neighbour amenity

23. With regard to neighbour amenity, the previous application was refused as it was judged that:

the proposed block of 5 flats with balconies along the rear elevation would create loss of privacy to the occupiers of flats within the adjoining South Lodge and Leyton Conyers by reason of direct and perceived overlooking. This together with the oppressive effect the additional height would have, by reason of the relatively close proximity to windows in South Lodge, would be detrimental to the reasonable living conditions occupiers of those flats would expect to enjoy.

24. When APP/17/01005/F was determined, building works were on-going. With the current application and with the building now substantially complete, the case officer has had the benefit of being able to go into it and view neighbouring properties from windows and balconies. It is therefore now much easier to assess the existing relationship between neighbouring buildings and the impact the proposed additional storey would have on the amenity of neighbours.

25. The size and design of the building currently on site and its impact on neighbouring properties was deemed acceptable when planning permission was granted previously. A key issue to assess in this current application is whether the current proposal would be demonstrably harmful to the amenity of any neighbours.

26. As detailed in the section above and when comparing with the plans refused in APP/17/01005/F, it is important to note that the fourth floor is inset further from the sides of the building. The internal layout of the proposed flat is different and therefore the window configurations are also different.

27. The additional height would have the greatest impact upon the south-western elevation of flats in South Lodge (the closest neighbour), and the north-eastern and north-western elevations of Leyton Conyers.

28. The proposed balcony to the rear of the building, would provide views towards the sea and overlook the communal gardens, with the potential for oblique overlooking to both neighbouring flats blocks. An obscure glazed privacy screen for the eastern elevation is proposed which would prevent any harmful overlooking towards flats in South Lodge. Windows in side facing elevations are either at high level; obscure glazed; or positioned in such a way that they would not result in any materially harmful overlooking. Had the application been acceptable in all other respects, conditions could have been imposed relating to the balcony and glazing and opening arrangements of side facing windows which would have ensured there was no materially harmful overlooking or loss of privacy.

29. With regard to loss of light and the development appearing overbearing, it is important to note the positioning and orientation of the building subject of this application and the neighbouring buildings either side. No. 2A is to the west of the north facing flats at South Lodge and north-east of north facing flats at Leyton Conyers. Given the respective positioning and orientation of buildings, daylight and sunlight would be largely unaffected by the proposal.

30. The new storey has been redesigned and inset further from the side walls when comparing with the previously refused plans. Whilst the outlook would undoubtedly be different when viewed from some windows in neighbouring flats (notably side facing windows), the proposed additional storey would not be materially harmful to neighbouring properties through loss of light, privacy or overshadowing.

31. This conclusion has been reached taking account of the relationship of the existing building with its neighbours; the revisions which have been made to the plans following the refusal of APP/17/01005/F (notably inseting the extension further from the outer walls); and the opportunity to better assess the potential impact afforded by the main shell of the building being substantially completed.

Parking/highway safety

32. Whilst the number of flats would be increasing by one, sufficient parking provision would be retained to meet guidelines. The access arrangements would be maintained as approved. The Highways Authority raise no objection to the proposal.

33. Additional cycle parking would be required for one extra cycle. This could be secured by condition.

Section 106 Agreement/CIL compliance

| Contributions Required | | | Dorset Heathland SAMM | Poole Harbour Recreation SAMM |
|------------------------|----------|---|-----------------------|-------------------------------|
| Flats | Existing | 0 | @ £269 | @ £96 |

| | | | | |
|---------------------|--------------|---|--------------------------|-------------------------|
| | Proposed | 1 | | |
| | Net increase | 1 | £269 | £96 |
| Houses | Existing | 0 | @ £394 | @140 |
| | Proposed | 0 | | |
| | Net increase | 0 | £0 | £0 |
| Total Contributions | | | £269 (plus admin fee) | £96 (plus admin fee) |
| CIL | Zone A | | @ £230sq m | |

34. Mitigation of the impact of the proposed development on recreational facilities; Dorset Heathlands and Poole Harbour Special Protection Areas; and strategic transport infrastructure is provided for by the Community Infrastructure Levy (CIL) Charging Schedule adopted by the Council in February 2019. In accordance with CIL Regulation 28 (1) this confirms that dwellings are CIL liable development and are required to pay CIL in accordance with the rates set out in the Council's Charging Schedule.

35. The site is within 5km (but not within 400m) of Heathland SSSI and the proposed net increase in dwellings would not be acceptable without appropriate mitigation of their impact upon the Heathland. As part of the Dorset Heathland Planning Framework a contribution is required from all qualifying residential development to fund Strategic Access Management and Monitoring (SAMM) in respect of the internationally important Dorset Heathlands. This proposal requires such a contribution, without which it would not satisfy the appropriate assessment required by the Habitat Regulations

36. In addition, the proposed net increase in dwellings would not be acceptable without appropriate mitigation of their recreational impact upon the Poole Harbour SPA and Ramsar site. A contribution is required from all qualifying residential development in Poole to fund Strategic Access Management and Monitoring (SAMM) in respect of the internationally important Poole Harbour. This proposal requires such a contribution, without which it would not satisfy the appropriate assessment required by the Habitat Regulations.

37. The applicant has submitted a Section 111 form and paid the relevant contributions towards Dorset Heathlands and Poole Harbour Recreation SAMM.

Summary

- The development would appear out of keeping with surrounding properties resulting in an overly dominant form of development that would materially harm the character and appearance of the surrounding area.
- Subject to the imposition of conditions, the development would not be demonstrably harmful to any neighbours.
- Parking provision would be sufficient and the development would not be detrimental to highway safety.

Background Documents:

39. For full details of all papers submitted with this application please refer to the relevant Public Access pages on the council's website.

RECOMMENDATION

It is therefore recommended that this application be Refuse for the following reasons

Reasons

1. RR000 (Non Standard Refusal Reason)

The proposed additional storey would significantly increase the height and bulk of the building and make it appear conspicuous in the skyline. It would be significantly higher than adjacent buildings and be obtrusive in wider views, appearing overly dominant and imposing in a manner that that would materially harm the character and appearance of the surrounding area. The proposal is therefore contrary to the provisions of Policies PP27, PP28 and PP31 of the Poole Local Plan (November 2018).

Informative Notes

1. IN76 (List of Plans Refused)

The development is hereby refused in accordance with the following plans:

2235-MAL-A 001 Revision P01 (Site Location Plan) received 14/09/2020
2235-MAL-A 002 Revision P01 (Site Plan) received 14/09/2020
2235-MAL-A-003 Revision P01 (Basement Floor Plan) received 14/09/2020
2235-MAL-A-004 Revision P01 (Ground Floor Plan) received 14/09/2020
2235-MAL-A-005 Revision P01 First Floor Plan) received 14/09/2020
2235-MAL-A-006 Revision P01 (Second Floor Plan) received 14/09/2020
2235-MAL-A-007 Revision P01 (Third Floor Plan) received 14/09/2020
2235-MAL-A-008 Revision P01 (Fourth Floor Plan) received 14/09/2020
2235-MAL-A-009 Revision P01 (Roof Plan) received 14/09/2020
2235-MAL-A 010 Revision P01 (Elevations) received 14/09/2020

2235-MAL-A-011 Revision P01 (Contextual Elevation) received 14/09/2020
2235-MAL-A-012 Revision P01 (Contextual Section) received 14/09/2020

2 IN73 (Working with applicants: Refusal)

In accordance with the provisions of paragraphs 38 of the NPPF the Local Planning Authority (LPA) takes a positive and creative approach to development proposals focused on solutions. The LPA work with applicants in a positive and proactive manner by;

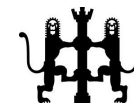
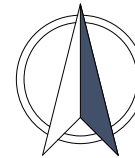
- offering a pre-application advice service, and
- advising applicants of any issues that may arise during the consideration of their application and, where possible, suggesting solutions.

Also:

- In this case the applicant did not take the opportunity to enter into pre-application discussions.
- In this case the applicant was advised how the proposal did not accord with the Development Plan, and that no material considerations were apparent that would outweigh these matters.

Case officer: Jon Maidman

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TM
Approver

| Rev | Date | Note | By |
|-----|------------|---------------|----|
| P01 | 09.09.2020 | Initial Issue | LC |

WESTERN ROAD

MARTELO PARK

1

1

1

1

1

1

1

6

2

SOUTH LODGE

8A

8A

3

LEYTONS
CONYERS

3

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MAL Project Reference [internal]: 2235

Project
2 Martello Park, Poole

Client
Fortitudo

Sheet
Site Location Plan

2235-MAL-A-001

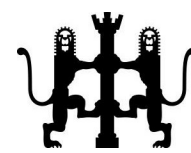
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Checked by: AJ

| Revision | Status | Scale @ Size |
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| P01 | S2 FOR INFORMATION | 1 : 1250 ● A4 |

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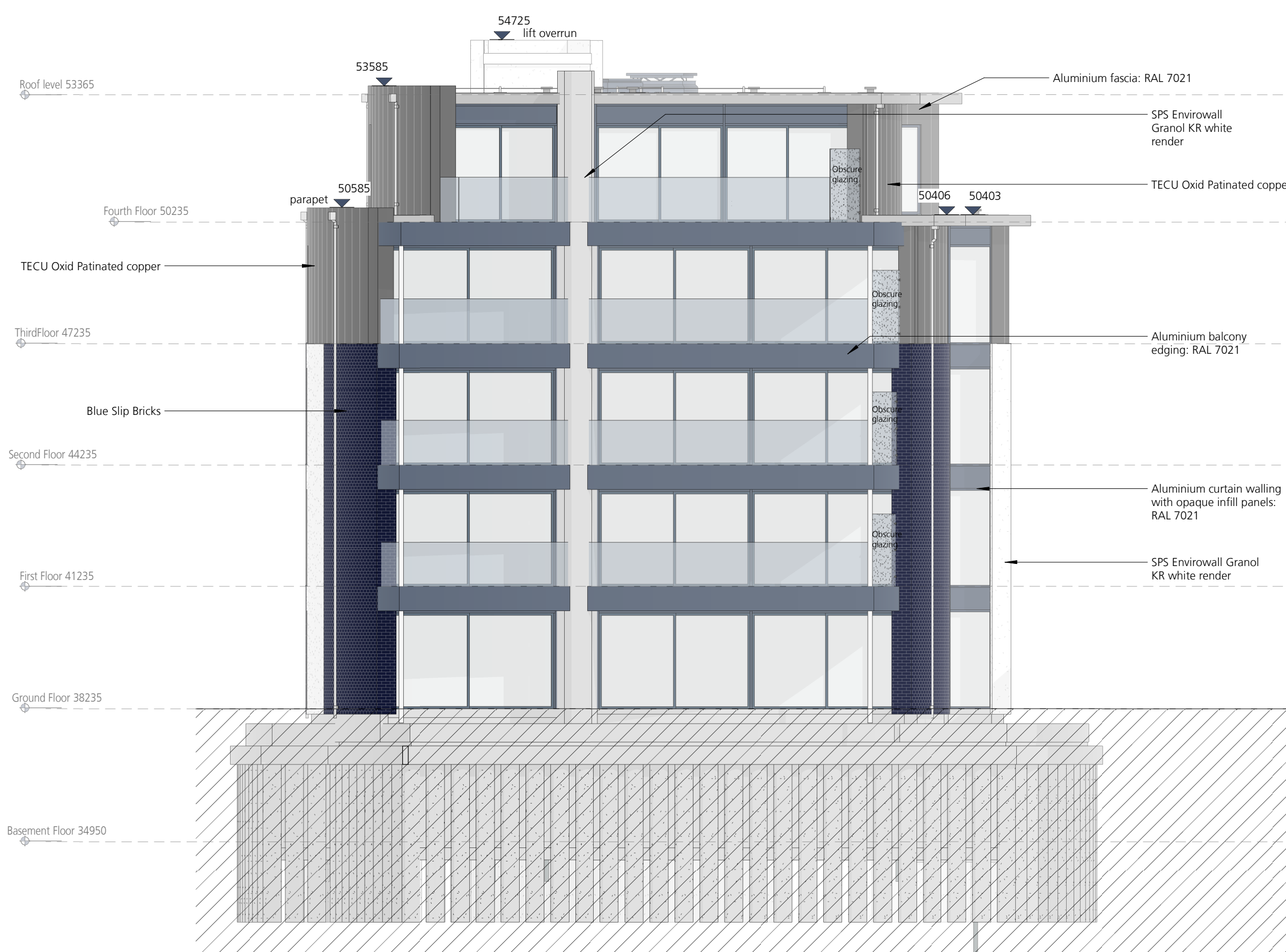


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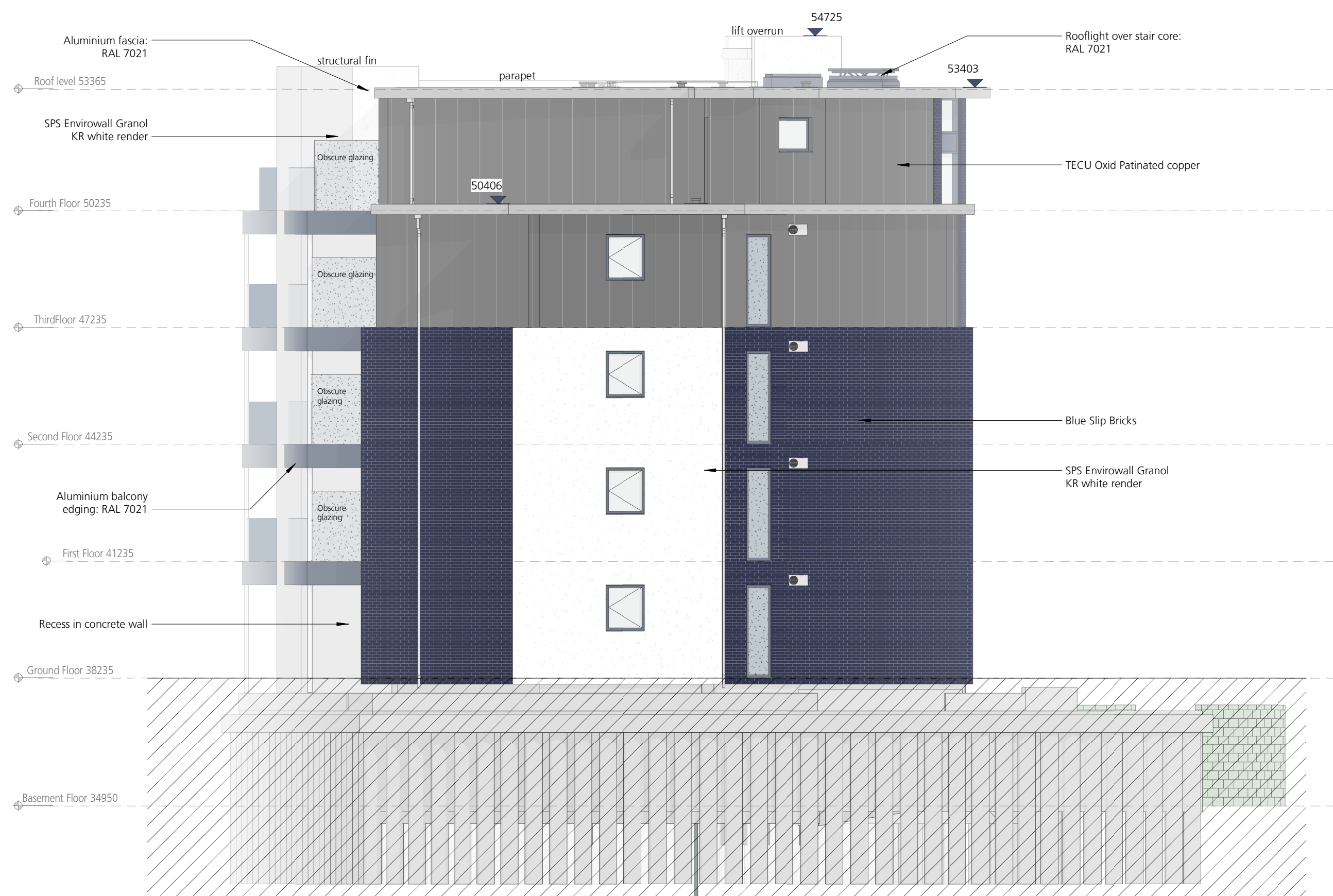
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| P01 | 09/09/2020 | Initial Issue | LC |



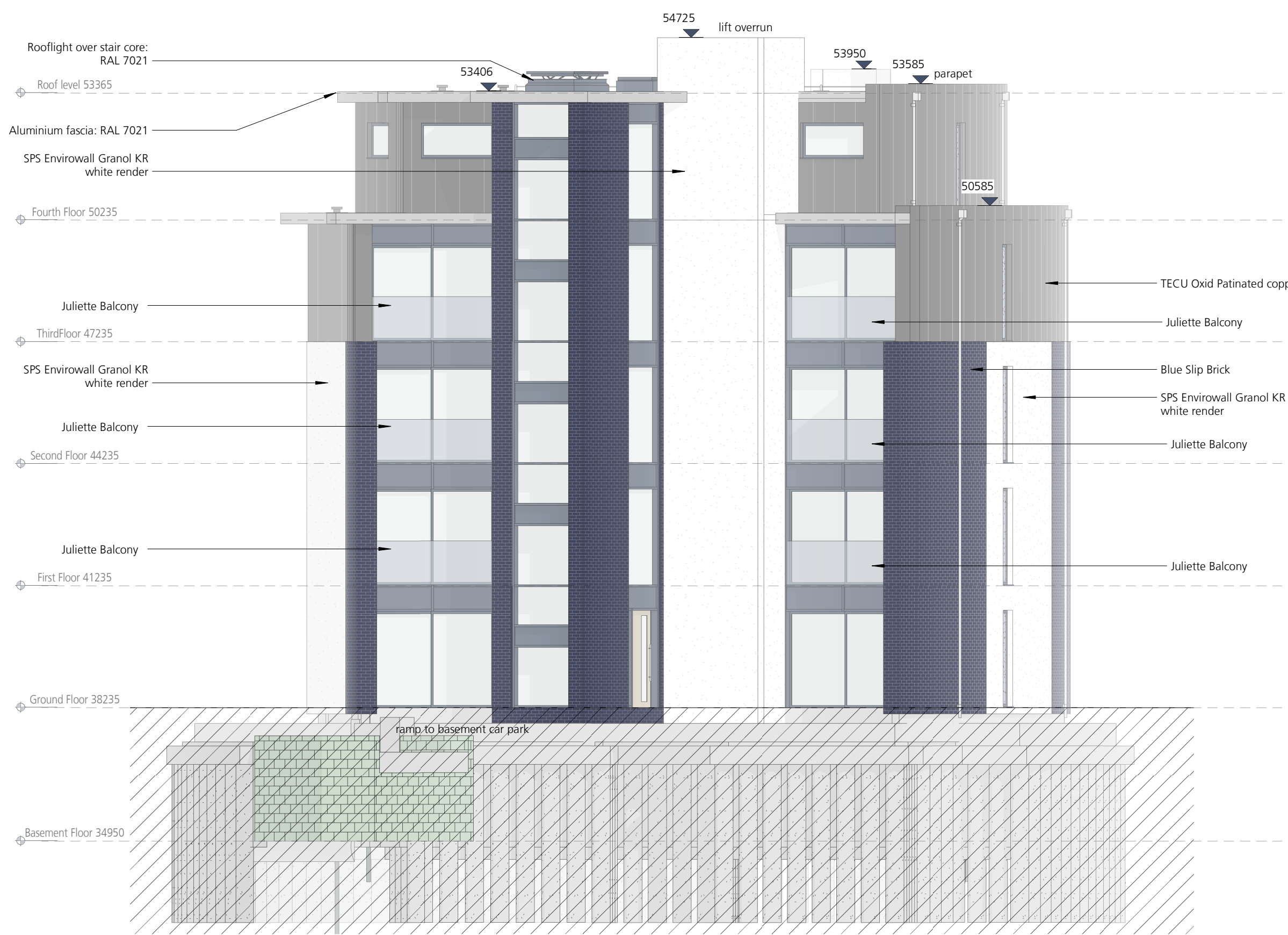
1 Western Elevation
1 : 100



2 Southern Elevation
1 : 100



3 Eastern Elevation
1 : 100



4 Northern Elevation
1 : 100

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MAL Project Reference [Internal]: 2235

Project 2 Martello Park, Poole

Client Fortitudo

Sheet Elevations

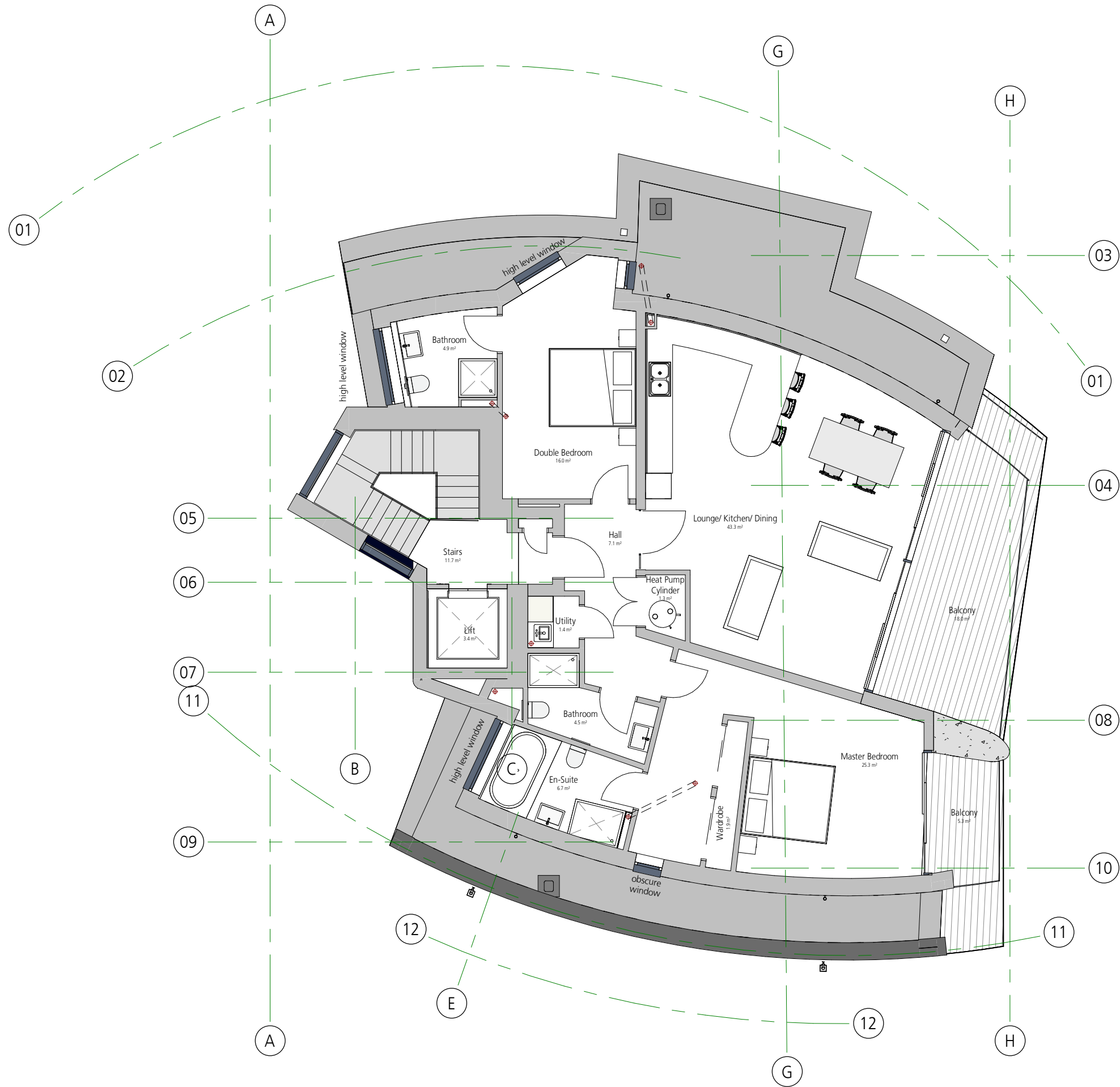
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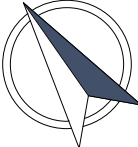
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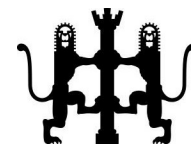
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| Project | 2 Martello Park, Poole | | |
| Client | Fortitudo | | |
| Sheet | Fourth Floor Plan | | |
| 2235-MAL-A-008 | | | |
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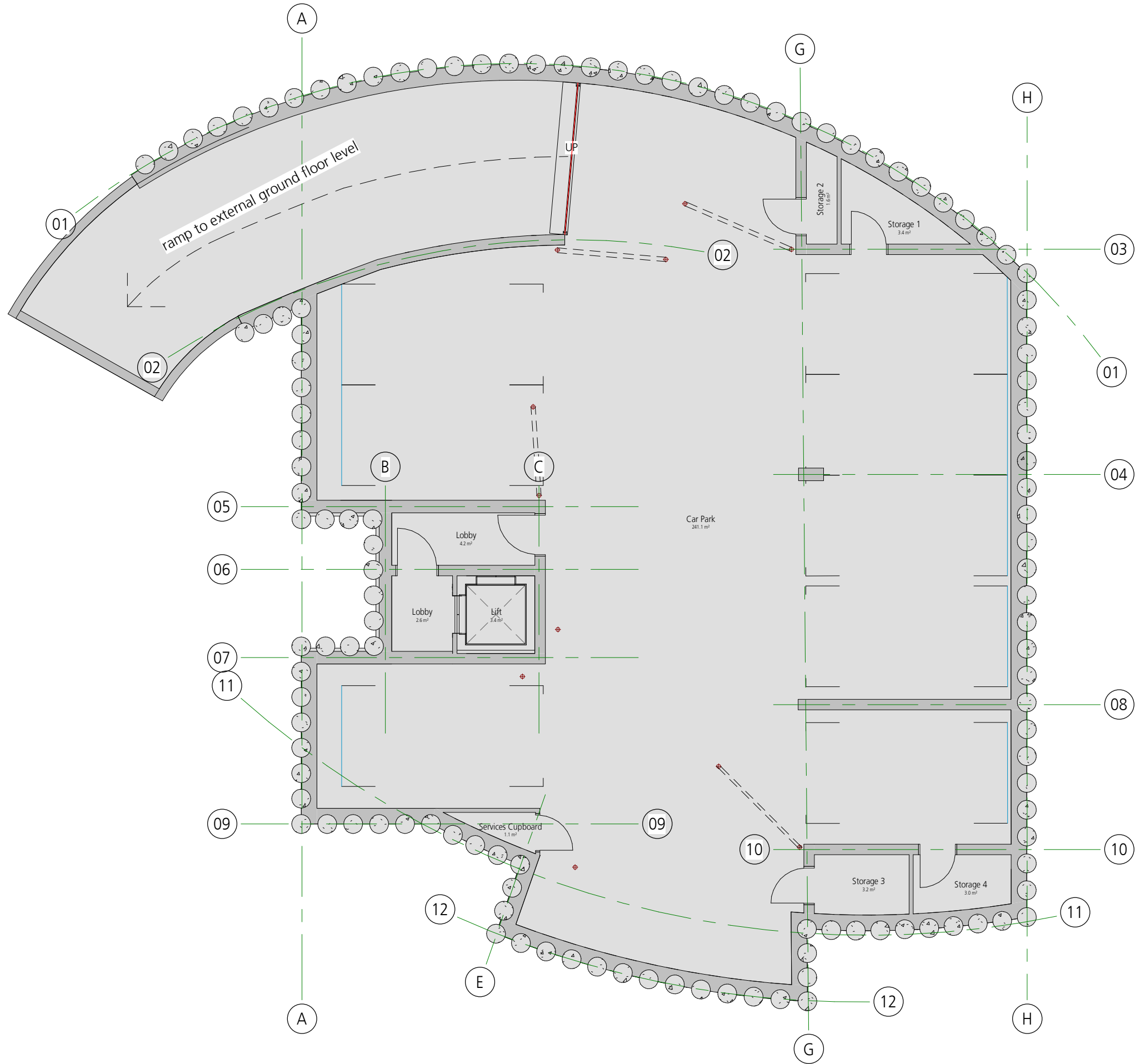
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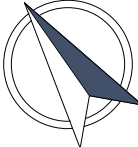

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| MAL Project Reference [Internal]: 2235 | | | |
| Project | 2 Martello Park, Poole | | |
| Client | Fortitudo | | |
| Sheet | Contextual Elevation | | |
| 2235-MAL-A-011 | | | |
| Drawn by: LC | | Checked by: AJ | |
| Revision | | Status | Scale @ Size |
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| Rev | Date | Note | | | By |
| P01 | 09.09.2020 | Initial Issue | | | LC |

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|--|------------------------|
| MAL Project Reference [internal]: 2235 | |
| Project | 2 Martello Park, Poole |
| Client | Fortitudo |
| Sheet | Basement Floor Plan |

| | |
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| 2235-MAL-A-003 | |
| Drawn by: LC | |
| Checked by: AJ | |
| Revision | Status |
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PLANNING COMMITTEE

| | |
|---|--|
| Application Address | 43 Wickfield Avenue Christchurch BH23 1JA |
| Proposal | Erect single and two storey rear and side extensions. Extend roof to incorporate additional first floor accommodation with dormers to front and rear. |
| Application Number | 8/20/0352/HOU |
| Applicant | Mr & Mrs J Atkins |
| Agent | Mr Darryl Howells |
| Date Application Valid | 18 May 2020 |
| Decision Due Date | 13 July 2020 |
| Extension of Time Date (if applicable) | 21 December 2020 |
| Ward | Christchurch Town |
| Report status | Public |
| Meeting date | 17 December 2020 |
| Recommendation | Grant, subject to conditions |
| Reason for Referral to Planning Committee | <p>This application is brought before committee at the request of Councillor Hall because;</p> <ul style="list-style-type: none"> • Certainly local residents interests • May be contrary to several planning policies such as HE1, HE2 & H12 • May be on size and bulk |
| Case Officer | David Hodges |

Description of Development

1. Erect single and two storey rear and side extensions. Extend roof to incorporate additional first floor accommodation with dormers to front and rear.

2. The proposals extend the roof to both sides to create a cropped hip to both ends. The proposals do not increase the ridge height as suggested in some of the 3rd party responses but projects the existing ridge across. Three new dormers are proposed to the front elevation and a larger dormer to the rear. This serves increased first floor accommodation. An existing detached garage is extended to the front and a covered veranda added to the front. To the rear and side, a single storey extension will link onto the garage and the building incorporated into the dwelling. A further extension is added to the rear of the existing garage to the north.
3. The application is a householder application and does not propose the creation of a new dwelling or annexe. No changes are proposed to existing access or parking arrangements.
4. **Key Issues**
 - Principle of development
 - Impact on the character and appearance of the area
 - Impact on neighbouring living conditions
 - Flood risk

Planning Policies

5. Christchurch and East Dorset Local Plan - Core Strategy (2014)

| | |
|-----|--|
| KS1 | Presumption in favour of sustainable development |
| HE2 | Design of new development |
| ME6 | Flood Management, Mitigation and Defence |

Christchurch Borough Council Local Plan (2001) – Saved Policies

| | |
|-----|--------------------|
| H12 | Residential Infill |
|-----|--------------------|

Relevant Planning Applications and Appeals

6. 8/97/0578/F: Addition of front dormer window in conjunction with loft conversion and extension to private garage. Granted 10/02/98.

Representations

7. 7 letters of objection have been received, a number of properties having commented more than once. The following issues are raised;
 - Loss of light & outlook
 - Out of character/detrimental to the Conservation Area
 - Overbearing
 - Will set a precedent
 - Parking problems
 - Resulting building would not be a chalet bungalow
 - Noise
 - Loss of privacy

- Building will be above the skyline

Consultations

8. Christchurch Town Council - no comments received.

9. Constraints

- Flood Zone 2
- FZ3a 30cc 2093
- FZ3a 40cc 2133
- SSSI Impact Risk Zone
- Areas Benefiting from Flood Defences
- Highways Inspected Network
- Airport Safeguarding
- Coastal Area (Policy)
- Wessex Water Sewer Flooding
- Contaminated Land - Refuse Disposal - 191.40m

Planning Assessment

Site and Surroundings

10. The site lies in a residential area west of Christchurch town centre. The area is characterised by a variety of property types including bungalows, chalet-style properties and 2-storey detached and semi-detached dwellings. Red brick and render are common along with plain clay tiles, pantiles and slate. Plot sizes vary.
11. The existing dwelling is a red brick and concrete pantile post-war chalet, consistent with the wider character of the area.
12. Certain of the third party comments refer to the site being in the Conservation Area. However, Wickfield Avenue is a typical residential street and the site is some distance from the central Conservation Area. The site is not a heritage asset. Therefore, Policy HE1 is not applicable to the proposals.

13. Key Issues

- Principle of development
- Impact on the character and appearance of the area
- Impact on neighbouring living conditions
- Flood risk

14. Principle of development

15. The site lies within the urban area and the proposal is acceptable in principle under the settlement strategy in Policy KS2

16. Impact on the character and appearance of the area

17. As noted above, the area is residential and characterised by a variety of property types including bungalows, chalet-style properties and 2-storey detached and semi-detached dwellings. The proposals would result in a chalet property with accommodation in the roofspace served by dormers with cropped hips to the side and a partial flat roof.
18. The proposals do not increase the ridge height of the dwelling. The resulting appearance of the property would be consistent with the varied character and appearance of properties in the area. When viewed from the front, the cropped hip roof form reflects that of No.47 to the south with the addition of dormers, a common feature in the locality. A condition is proposed to ensure the materials match the existing property. The rear extension links on to the existing garage and extends this to the rear. Whilst this stretches most of the length of the garden, this is not read from the public realm and its impact on the character of the area is limited. The site is approximately 90m from the nearest point of the town centre Conservation Area with a number of intervening suburban dwellings. The scheme has no impact on the heritage asset.
19. The scheme is considered to comply with the test in Policy HE2 to be compatible with or improve its surroundings in its layout; site coverage; architectural style; scale; bulk; height; materials and visual impact.

20. Impact on neighbouring living conditions

21. The scheme has been amended during the course of the application. This has reduced the bulk of the 2-storey extensions at the side/rear, setting the rear accommodation into the roofspace, served by a dormer. The main increase in bulk of the property is to the sides. The scheme does not introduce any 1st floor side facing windows and privacy would be retained at neighbouring properties. The proposals show one rear-facing bedroom window at 1st floor, the remaining openings serving ancillary accommodation. This results in a common residential relationship seen across the surrounding area.
22. The immediately adjoining neighbours are set on a stagger. The bulk of the proposed extensions are set opposite the side elevations of neighbouring properties. The proposed front extension to the garage brings this forward of the front elevation of No.41 by approximately 1.5m. The existing property on the site already sits further forward of No.41 and the proposed front extension to the garage. Any impacts from the front extensions on the outlook from the front of No.41 would be limited.
23. To the southern side, the proposals extend upwards on the existing rear wall to create the 1st floor accommodation. The dwelling is not extended to the rear on

this side. This increase in bulk would be partially visible from the rear of No.45, however, an acceptable outlook from the rear of this neighbour would be retained and the scheme would not result in an overbearing impact.

24. The scheme is considered to comply with the test in Policy HE2 to be compatible in its relationship to nearby properties including minimising general disturbance to amenity.

Flood risk

25. The site lies within an area of high flood risk and the application is accompanied by a flood risk assessment. This confirms that the floor levels of the extension hereby permitted shall be the same as the existing dwelling and flood resistance and resilience measures shall be incorporated as appropriate in accordance with the Environment Agency's Standing Advice. A condition is proposed to deliver this (#4 below).
26. The scheme thereby complies with the test in ME6 to ensure that all developments will demonstrate that flood risk does not increase as a result of the development proposed.

Summary

27. The proposals will extend an existing chalet property in a residential area. The resulting dwelling will remain a chalet property. The proposal is for a householder development and does not propose an annexe or separate dwelling. The resulting appearance of the building is compatible with character and appearance of the area. The scheme has acceptable impacts on the living conditions of neighbouring dwellings. Existing access and parking facilities are retained.

Planning Balance

28. The scheme has neutral environmental impacts on the character of the area, highway safety, flood risk and the living conditions of neighbours. There is a modest economic benefit during the construction phase. The scheme provides modest social benefits to the applicant in enlarging the existing accommodation.
29. No harm has been identified in the assessment and the scheme is considered to comply with the development plan as a whole and is recommended for approval.

RECOMMENDATION

Grant, subject to the following:

Conditions:

1. The development to which this permission relates must be begun not later than the expiration of three years beginning with the date of this permission.

Reason: This condition is required to be imposed by Section 91 of the Town and Country Planning Act 1990.

2. The development hereby permitted shall be carried out in accordance with the following approved plans:

- 01 Existing and proposed location plan
- 05 Location plan - proposed
- 06 Proposed Ground Floor Plan
- 08 AMENDED 008 Proposed Elevations Rev A
- 07 A AMENDED 007 Proposed First Floor Plan and Front Elevation Rev A

Reason: For the avoidance of doubt and in the interests of proper planning.

3. The materials and finishes to be employed on the external faces of the development, hereby permitted, shall match those of the existing building unless otherwise first agreed in writing by the Local Planning Authority.

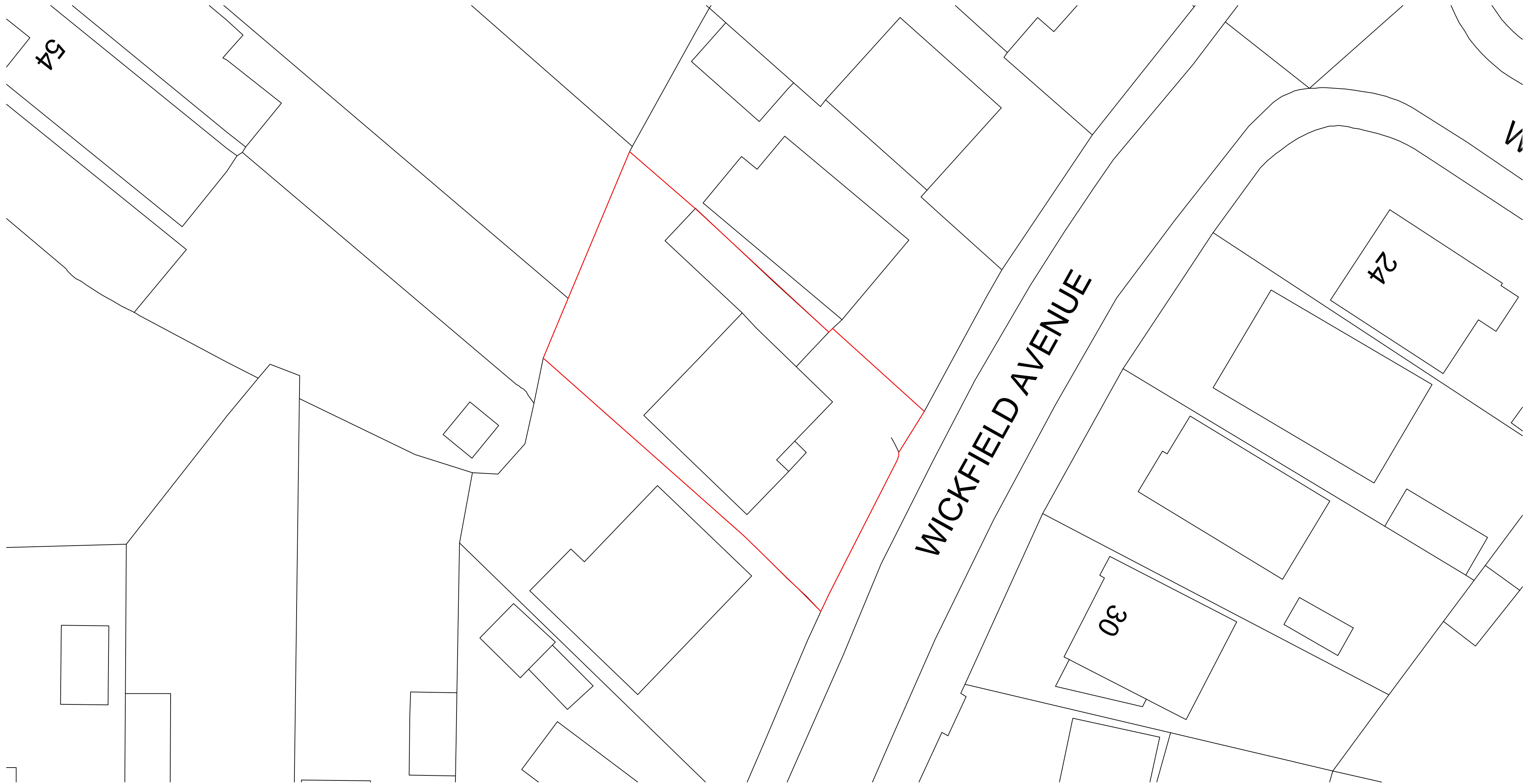
Reason: To ensure satisfactory visual relationship of the new development to the existing.

4. The floor levels of the extension hereby permitted shall be the same as the existing dwelling and flood resistance and resilience measures shall be incorporated as appropriate in accordance with the Environment Agency's Standing Advice.

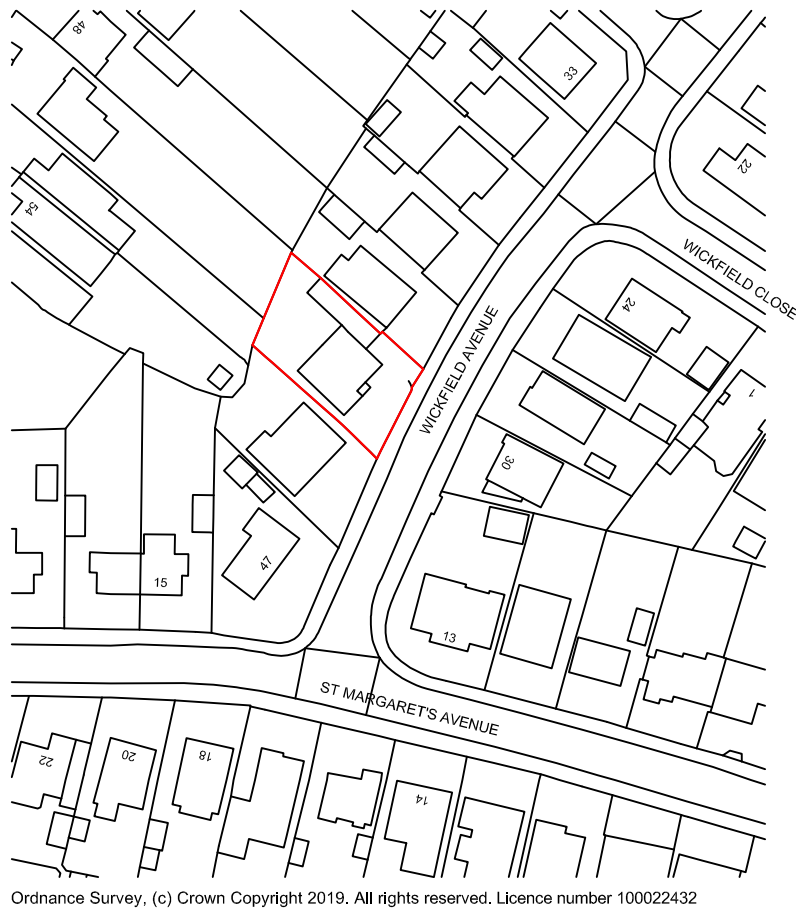
Reason: To ensure a satisfactory form of development in relation to the level of flood risk associated with the site.

Informatives:

Background Papers

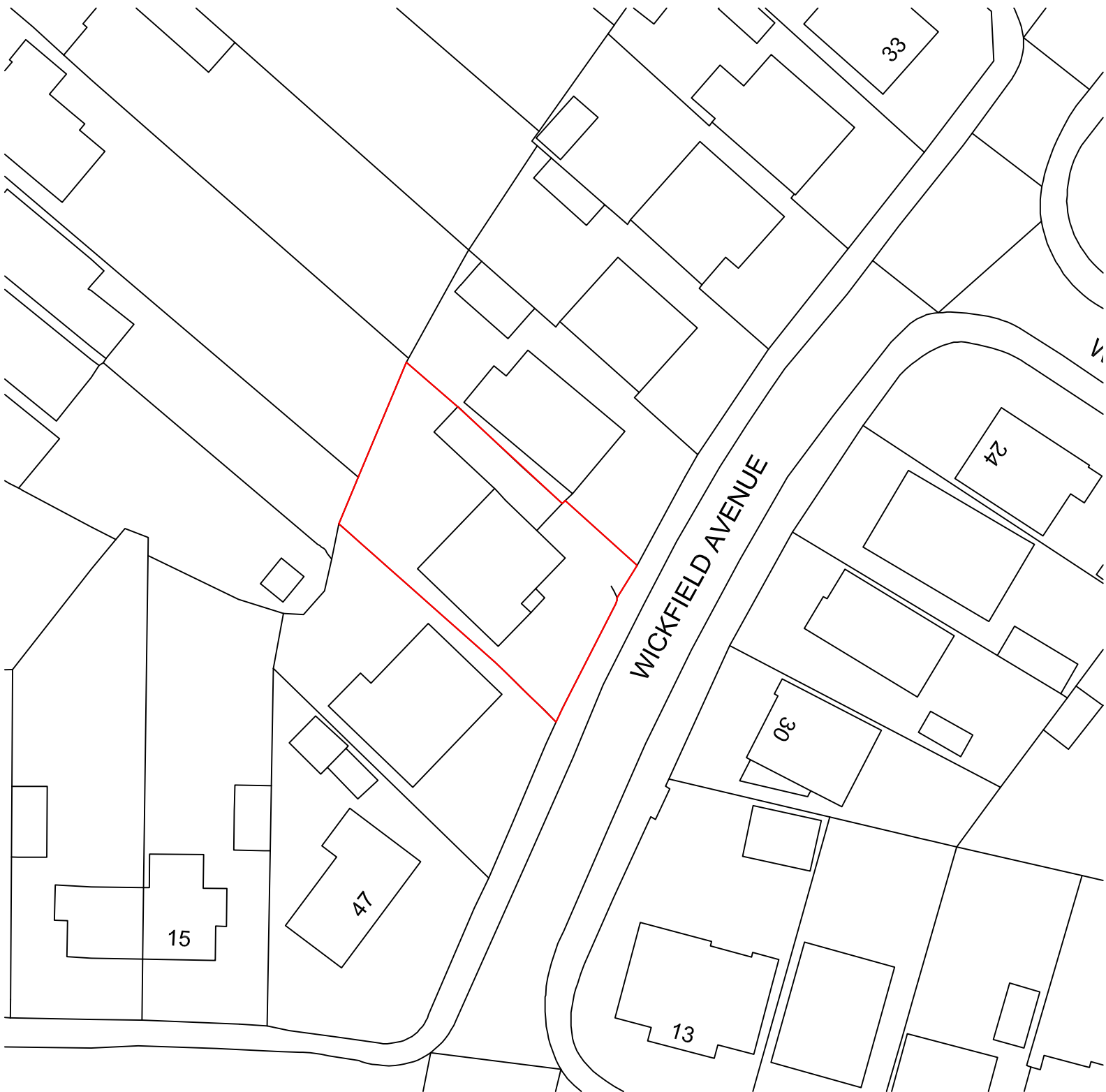


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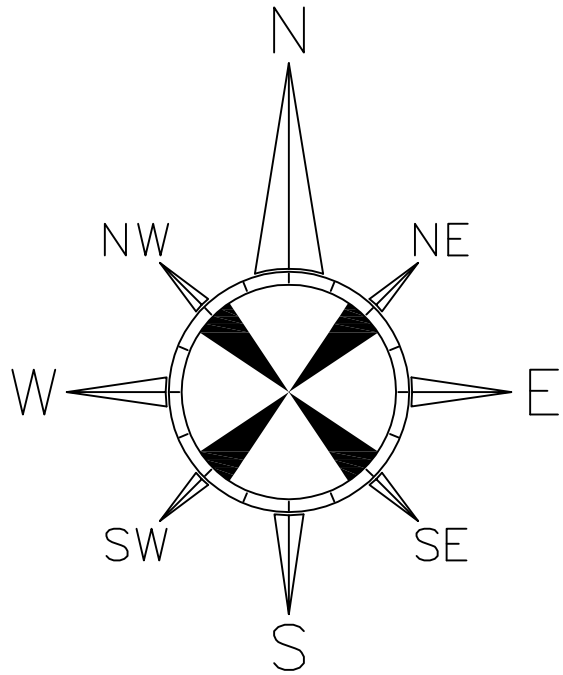


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LOCATION PLAN - 1:1250



LOCATION PLAN - 1:500



Scale Bar (1:200)

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PROJECT STATUS

Planning

MBA Architecture Ltd

306 Lymington Road
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Dorset
Tel: 01590 624794
E-mail: matt@mbauktd.co.uk

Client:

Mr and Mrs Atkins
43 Wickfield Avenue
Christchurch
BH23 1JA

Job Title:

Ground and First Floor
Extension with Garage
Conversion

Drawing Title:

Existing Location Plans

Drawn By:

MBA

Date:

November 2019

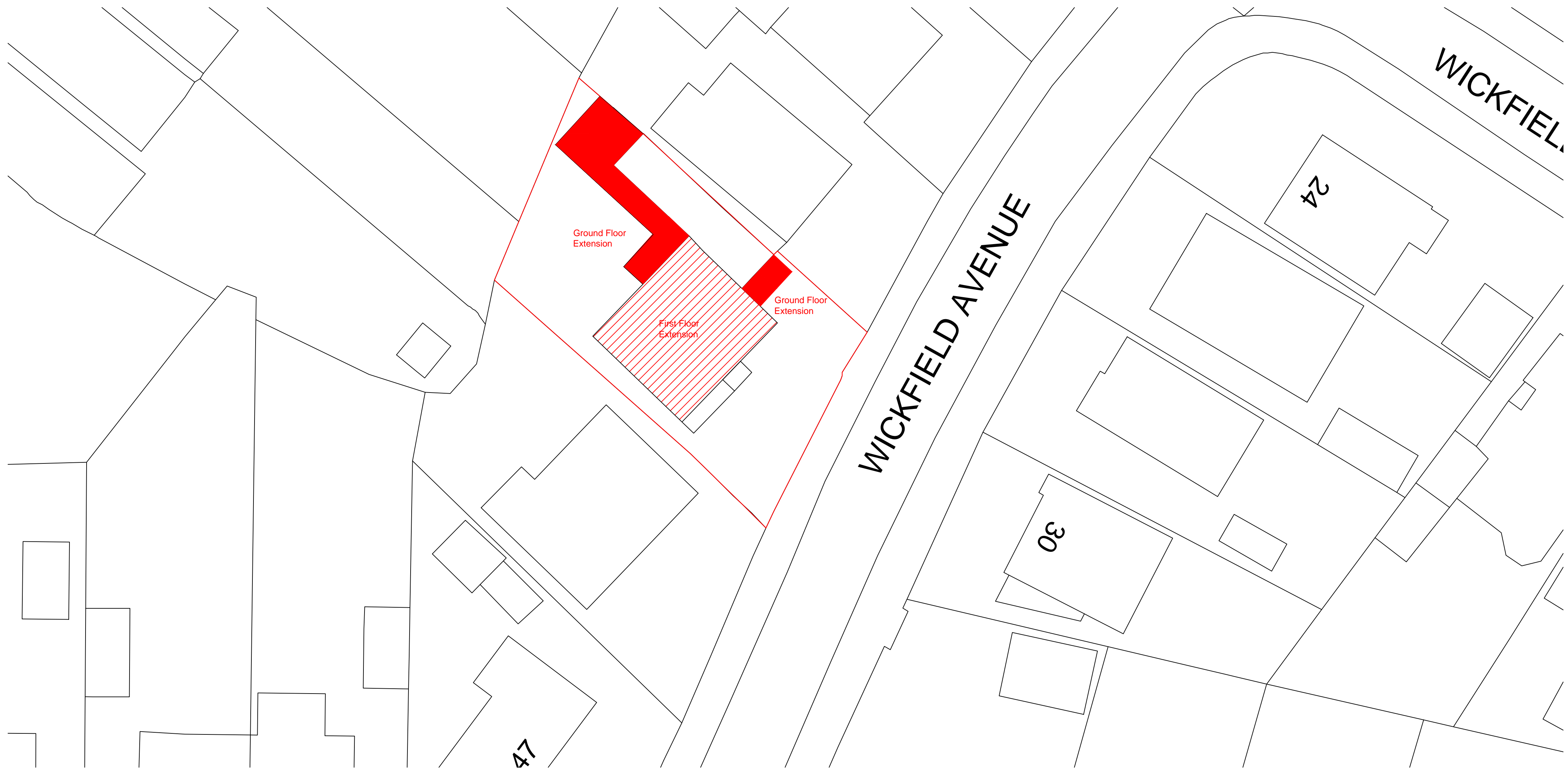
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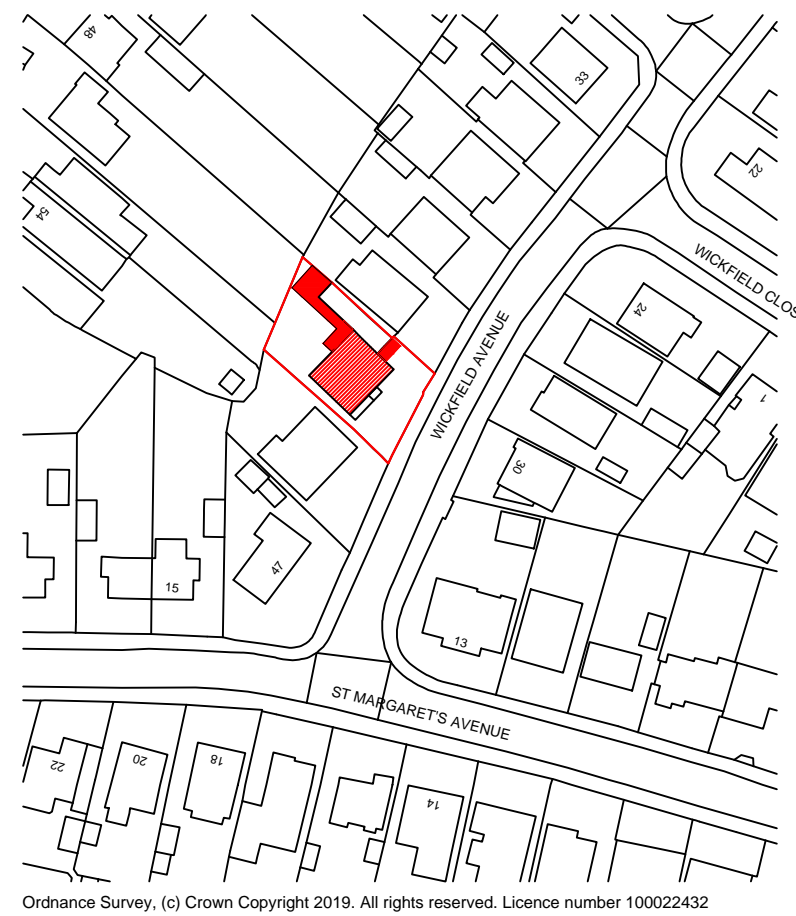
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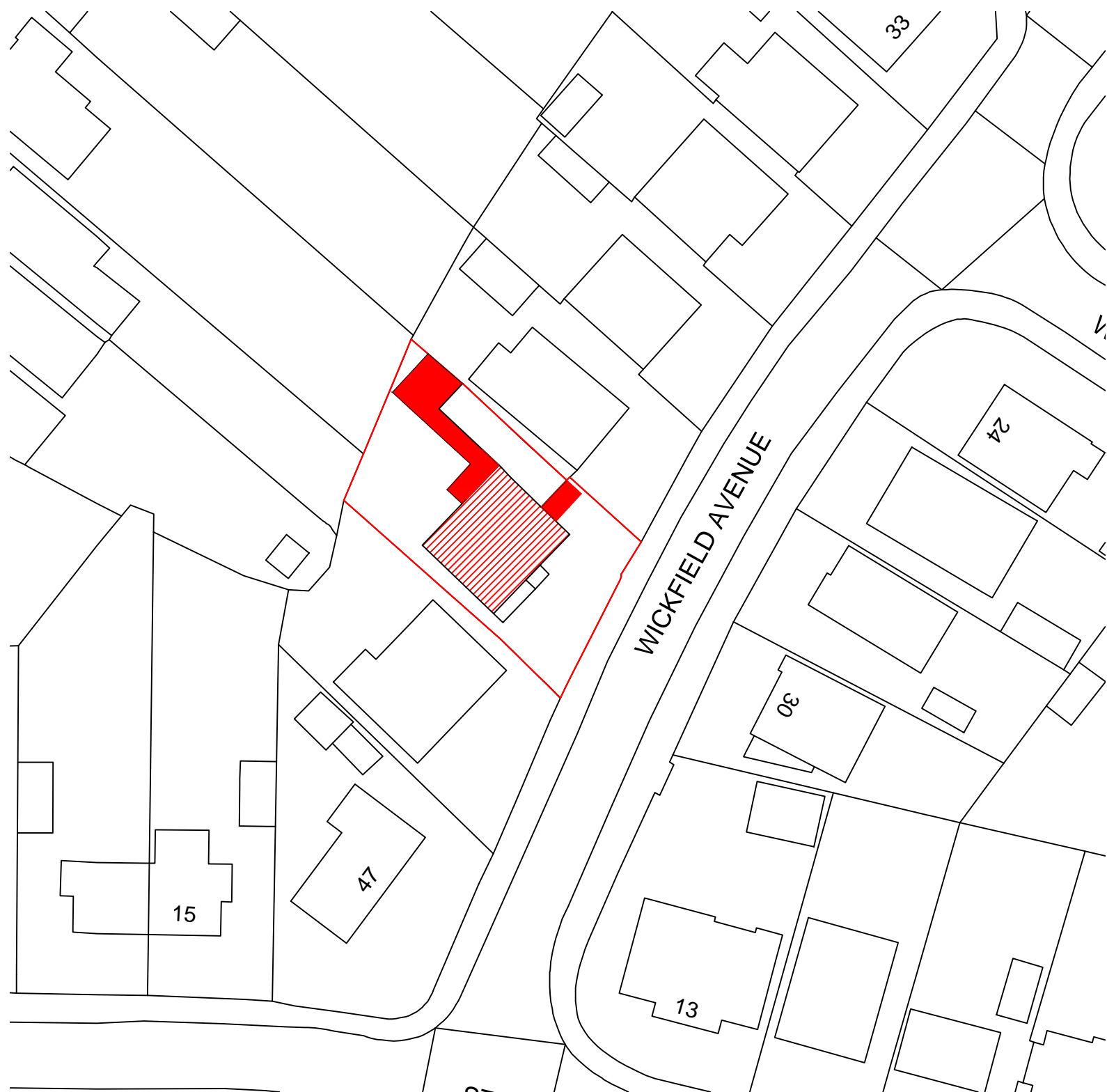


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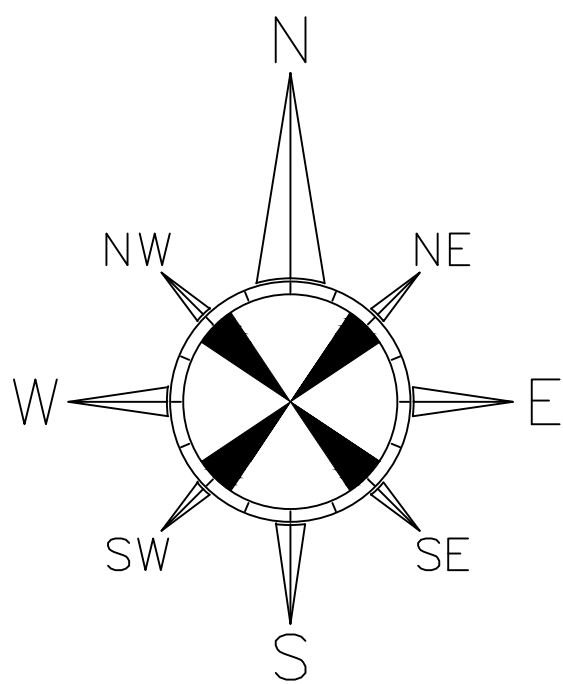


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Client: Mr and Mrs Atkins
43 Wickfield Avenue
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BH23 1JA

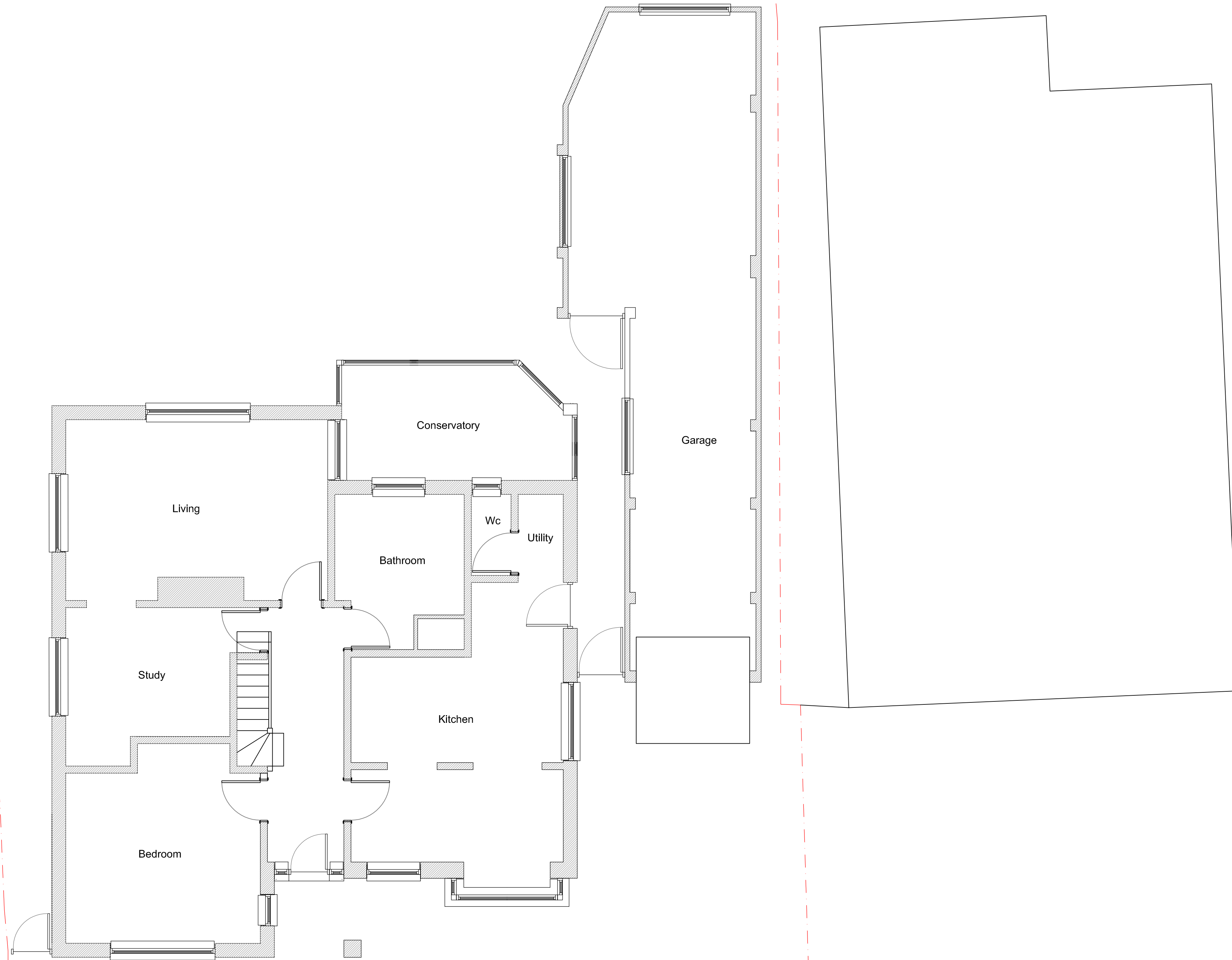
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Extension with Garage
Conversion

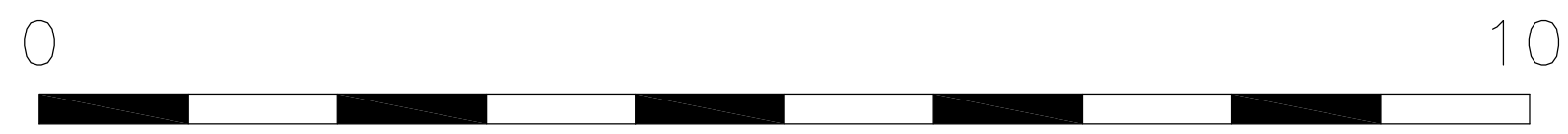
Drawing Title:

Existing Location Plans

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| Drawn By: MBel | Dwg. No. MBA/100/005 |
| Date: November 2019 | Rev. |
| Scale: 1:1250 1:500 1:100 @ A1 | |



EXISTING GROUND FLOOR PLAN



Scale Bar (1:50)

General Notes

Location plan details taken from details provided by Ordnance Survey. These dimensions must be checked and not scaled from this drawing.

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E.mail: matt@mbaukLtd.co.uk

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BH23 1JA

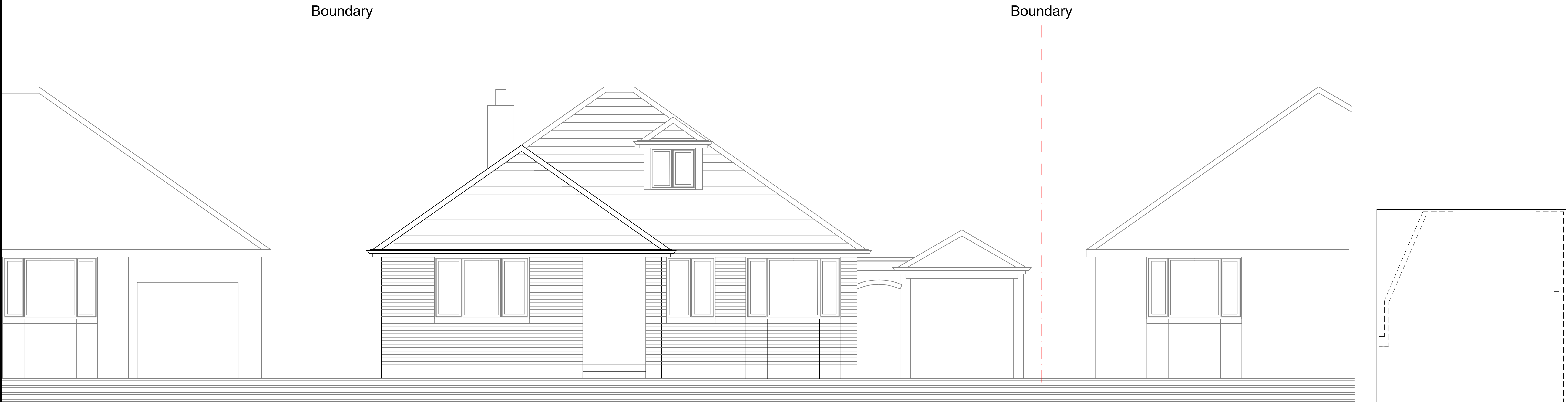
Job Title:

Ground and First Floor
Extension with Garage
Conversion

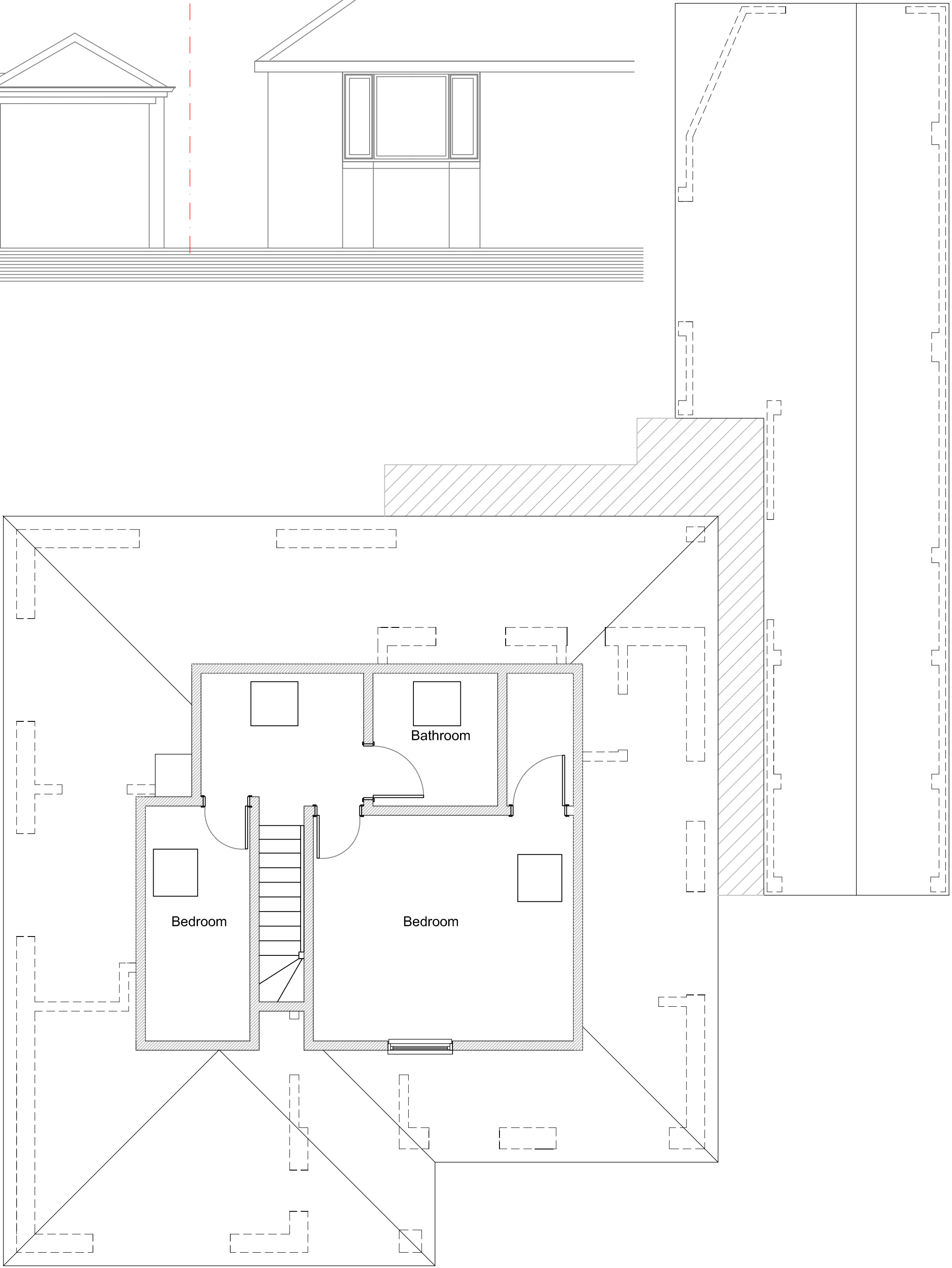
Drawing Title:

Existing Ground Floor Plan

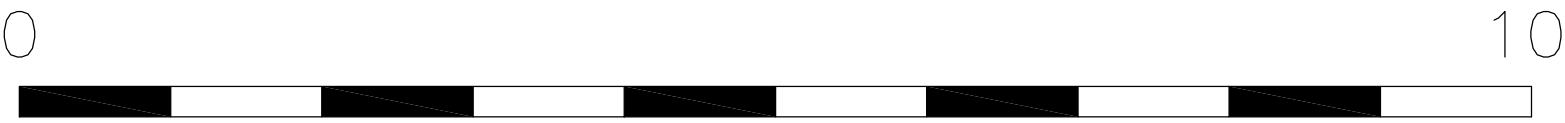
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| Drawn By: MBell | Dwg. No. MBA/100/002 |
| Date: November 2019 | Rev. |
| Scale: 1:50 @ A1 | |



FRONT ELEVATION (facing Wickfield Avenue)



EXISTING FIRST FLOOR PLAN



Scale Bar (1:50)

General Notes

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Job Title:

Ground and First Floor
Extension with Garage
Conversion

Drawing Title:

Existing First Floor Plan and
Front Elevation

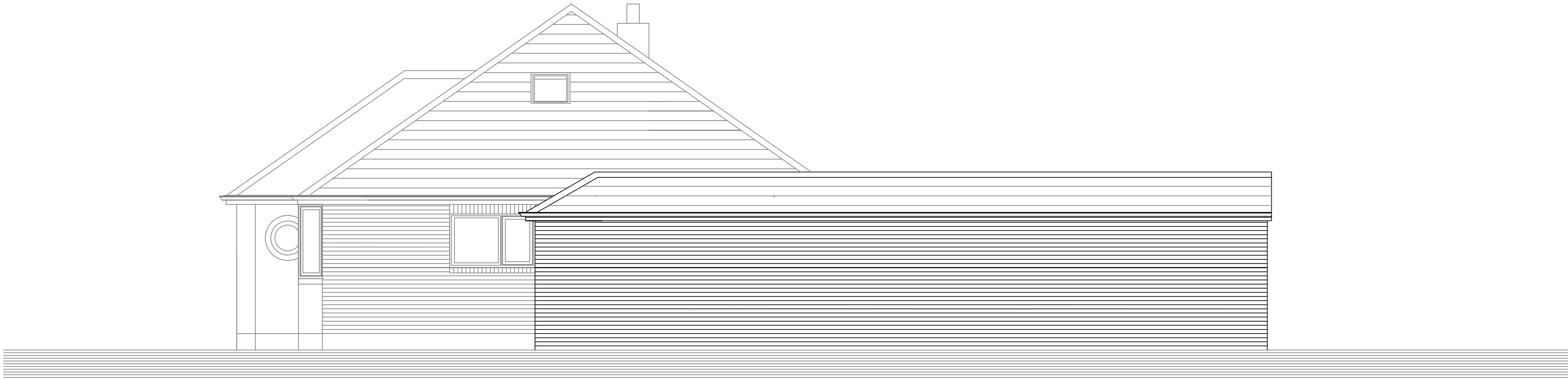
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| Drawn By: MBel | Dwg. No. MBA/100/003 |
| Date: November 2019 | Rev. |
| Scale: 1:50 @ A1 | |



SIDE ELEVATION (facing 45 Wickfield Avenue)



REAR ELEVATION



SIDE ELEVATION (facing 41 Wickfield Avenue)



Scale Bar (1:50)

General Notes

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BH23 1JA

Job Title:

Ground and First Floor
Extension with Garage
Conversion

Drawing Title:

Existing Elevations

Drawn By:

MBA

Date:

November 2019

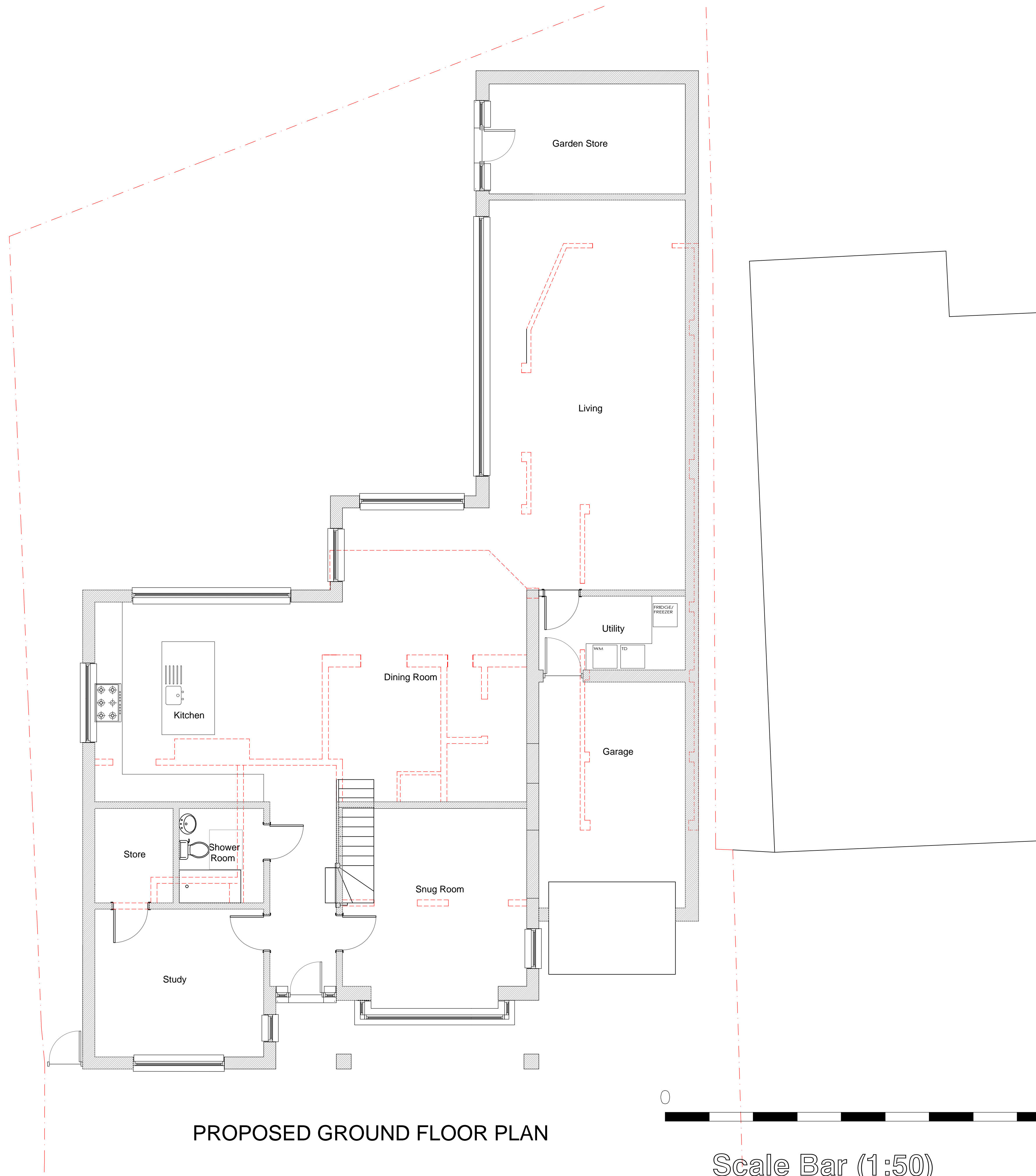
Scale:

1:50 @ A1

Dwg. No.

MBA/100/004

Rev.



General Notes

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BH23 1JA

Job Title:

Ground and First Floor
Extension with Garage
Conversion

Drawing Title:

Proposed Ground Floor Plan

Drawn By:

MBen

Date:

November 2019

Scale:

1:50 @ A1

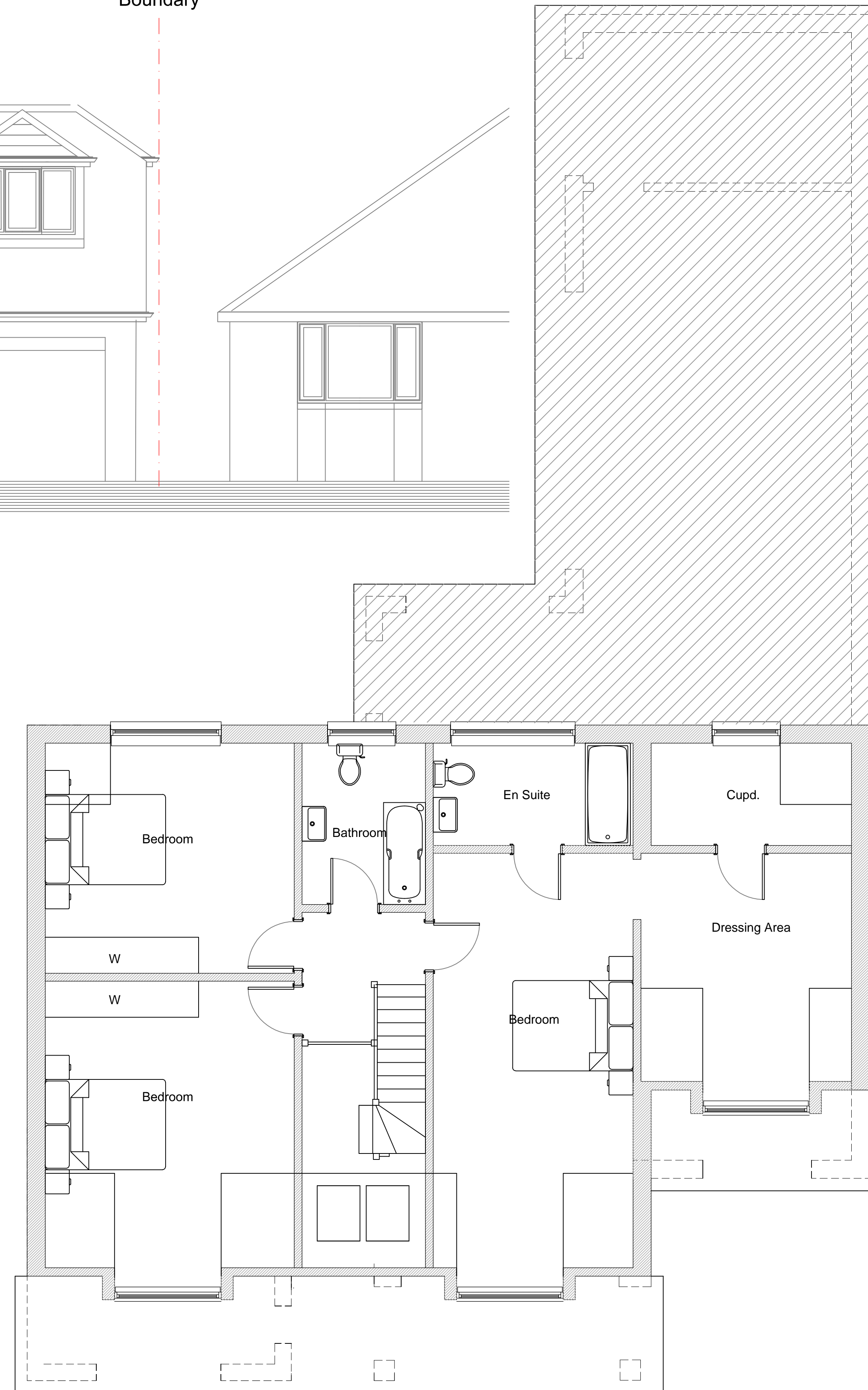
Dwg. No.

MBA/100/006

Rev.



FRONT ELEVATION (facing Wickfield Avenue)



PROPOSED FIRST FLOOR PLAN



Scale Bar (1:50)

General Notes

Location plan details taken from details provided by Ordnance Survey. These dimensions must be checked and not scaled from this drawing.

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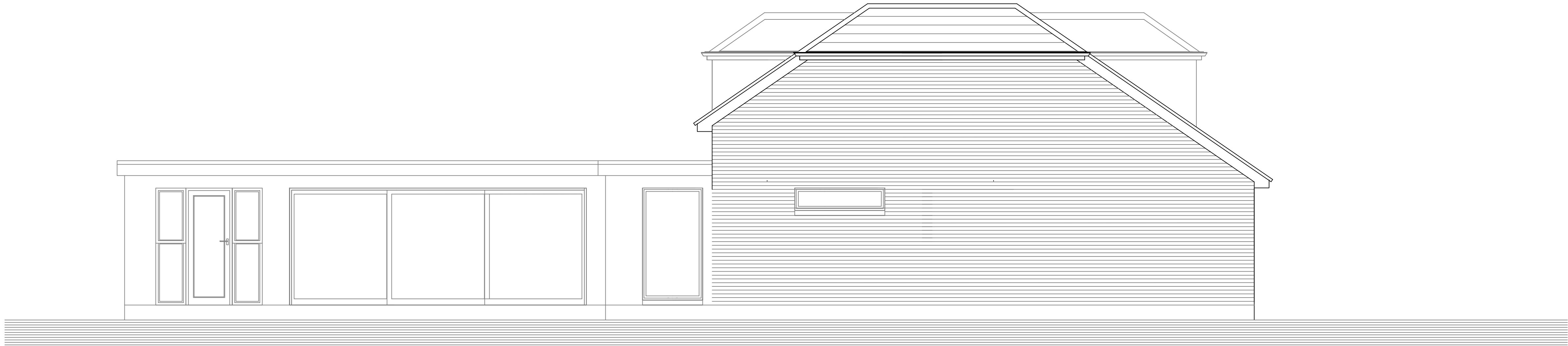
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Job Title:
Ground and First Floor
Extension with Garage
Conversion

Drawing Title:
Proposed First Floor Plan
and Front Elevation

| | |
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| Drawn By: MBel | Dwg. No. MBA/100/007 |
| Date: November 2019 | Rev. A |
| Scale: 1:50 @ A1 | |



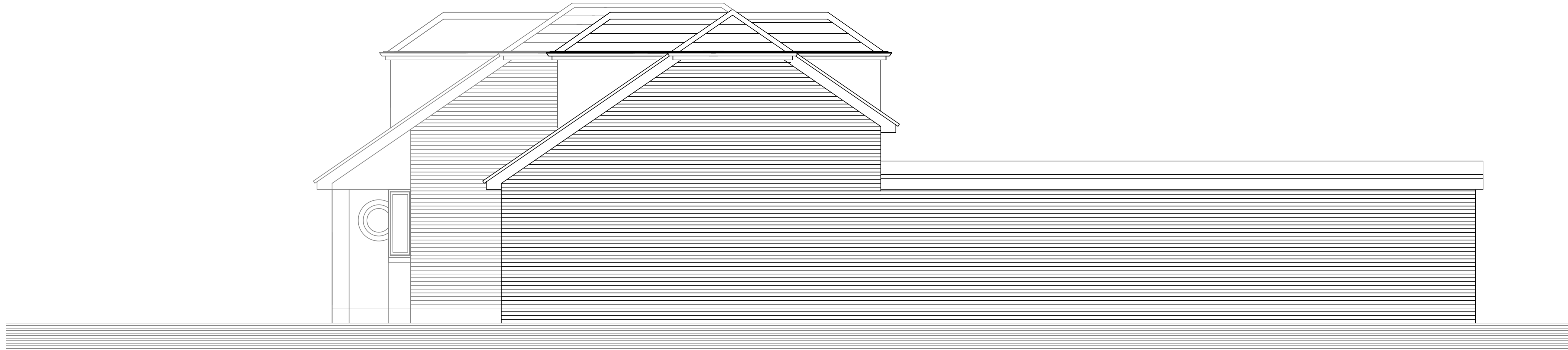
SIDE ELEVATION (facing 45 Wickfield Avenue)

Boundary

Boundary



REAR ELEVATION



SIDE ELEVATION (facing 41 Wickfield Avenue)



Scale Bar (1:50)

General Notes

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Christchurch
BH23 1JA

Job Title:

Ground and First Floor
Extension with Garage
Conversion

Drawing Title:

Proposed Elevations

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|-------------------------------|--------------------------------|
| Drawn By: Mibel | Dwg. No. MBA/100/008 |
| Date: November 2019 | Rev. |
| Scale: 1:50 @ A1 | |